

FARMINGTON, CONNECTICUT
TOWN PLAN AND ZONING COMMISSION
1 Monteith Drive, Farmington, CT 06032-1053

Tel: 860-675-2325

FOR TPZ USE
NUMBER Z- _____
Rec. Nbr. _____
Rec. Amt. _____

TYPE OF APPLICATION

- Change of Zone
- Special Permit
- Removal or Deposit of Earth Products
- Amendment to Regulations
- Site Plan Approval
- Waiver

1. Name of Applicant RPG FARMINGTON COMMONS, LLC. Phone: 860-666-7400
Mailing Address 170 PANE ROAD, NEWINGTON, CT 06111
2. Name of Contact DAVID OCCHIALINI/CHRISTIAN HOHEB Phone: 860-678-9345
Mailing Address 314 MAIN STREET, FARMINGTON, CT 06032
Email Address CHOHEB@AOL.COM / DAVIDO@RENO-MACHINE.COM
3. Name of Owner RPG FARMINGTON COMMONS, LLC
Mailing Address 170 PANE ROAD, NEWINGTON, CT 06111
4. Property Address 790 FARMINGTON AVENUE 1 and 4A 4B Acreage _____
5. Assessor's lot number 25C 6. Zone: Present B1 Proposed FC / FV
7. Is parcel within 500 feet of municipal boundary? Yes _____ No X
8. Description of request Zone Change from B 1 to Farmington Center Zone (FC); SPECIAL PERMIT FOR RESIDENTIAL USE
Farmington Village District (FV)

9. Please indicate adjoining property owners and location as follows: (Attach separate sheet, if necessary).
 Bounded: Northerly by: Unit 1-A, Unit 1-A-2, Storage Unit 5, Storage Unit S-6, Unit 4A and Unit 4B
 Westerly by: See Attached Descriptions
 Southerly by: _____
 Easterly by: _____

10. All information submitted with this application is true and accurate to the best of my knowledge. The applicant understands that this application is to be considered complete only when all information and documents required by the Commission have been submitted.

Date 9 / 10 / 2020


 Signature of Applicant MEMBER
 (Must be owner or agent or party with a legal interest in the property)

EXHIBIT A

The following described real property situated in the Town of Farmington, County of Hartford and State of Connecticut:

Office Unit 1-A with 7.194 interest in the common areas and facilities appurtenant thereto; and

Office Unit 1-A-2 with 7.454 interest in the common areas and facilities appurtenant thereto; and

Storage Units 8-8 and 9-8 with 0.164 interest in the common areas and facilities appurtenant thereto;

in a certain condominium called "Farmington Commons, an office condominium", which is situated on premises submitted to and subject to the condominium form of ownership pursuant to the Unit Ownership Act (Chapter 82B) of the Connecticut General Statutes; which premises are more particularly shown as "Parcel 'B' area = 2.35 acres" on a subdivision map entitled "Plan of Subdivision of Land owned by Farmington Commons Realty Corporation, Farmington Avenue Farmington, Connecticut Scale 1" = 30' January 1974 Certified substantially correct, M. F. Grunwald Surveyors, Hedge Surveying Associates, P.C.", which map is on file in the office of the Farmington Town Clerk.

Together with a sanitary sewer right of way, in common with others, described in a certain deed from Farmington Commons Realty Corporation to Connecticut Commons Group dated July 31, 1978 and recorded in Volume 243 at Page 37 of the Farmington Land Records.

Together with the rights appurtenant in the form of an easement described in a certain Conveyance of Easements by and between Farmington Commons Realty Corporation and the Connecticut Commons Group, a partnership, dated July 31, 1978 and recorded in Volume 243 at Page 40 of the Farmington Land Records.

Which units and common areas and floor plan are more fully defined, identified and described in a certain "Declaration of Condominium by Connecticut Commons Group" for Farmington Commons, an office condominium, dated July 1, 1978 and in Table A, Exhibits A, B and C appended thereto, said Declaration, Table A and Exhibits being recorded commencing at Volume 244 at Page 18 of the Farmington Land Records, and said Exhibits being filed at Cabinet 51, Map 3208, as amended by Amendment No. 1 dated July 1, 1978 and recorded in Volume 244 at Page 21 of the Farmington Land Records; and as further amended by Amendment No. 2 dated July 15, 1978 and recorded in Volume 244 at Page 1057 of the Farmington Land Records.

POOR QUALITY
ORIGINAL DOCUMENT
FARMINGTON TOWN CLERK

Received for Record at FARMINGTON, CT
On 11/27/2018 At 11:09:21 am

Paula B. Ray
Paula B. Ray, Town Clerk

Received for Record at FARMINGTON, CT
On 03/02/2020 At 11:40:27 am

Paula B. Ray
Paula B. Ray, Town Clerk

Book:1171 Page: 271 Seq: 2 of 2

SCHEDULE B

1. Common charges as may be due and payable to the Farmington Commons Association, Inc.
2. Terms, conditions, easements, reservations, restrictions, obligations, rules and regulations as set forth in the Declaration of Farmington Commons Condominium, and the bylaws and exhibits annexed thereto, dated June 1, 1976 and recorded in Volume 248 at Page 35 of the Farmington Land Records; as amended by Amendment Number One to Declaration dated July 1, 1976 and recorded in Volume 248 at Page 827; as further amended by Amendment Number Two to Declaration dated July 15, 1978 and recorded in Volume 262 at Page 1057 of said land records; as further amended by Amendment Number Three to Declaration dated October 13, 1998 and recorded in Volume 580 at Page 617 of said land records; as corrected in Volume 586 at Page 221; as may be further amended from time to time.
3. Sewer easement rights as set forth in an Agreement between Waterville Road Realty Corporation and Farmington Commons Realty Corporation dated December 1, 1969 and recorded in Volume 230 at Page 94 of the Farmington Land Records.
4. Parking easement in favor of Waterville Road Realty Corporation dated December 1, 1969 and recorded in Volume 230 at Page 158 of the Farmington Land Records.
5. Easement in favor of Elm Tree Realty Corporation dated January 30, 1974 and recorded in Volume 230 at Page 164 of the Farmington Land Records.
6. Covenants and easements as set forth in a deed from Farmington Commons Realty Corporation to Connecticut Commons Group dated July 31, 1975 and recorded in Volume 243 at Page 37 of the Farmington Land Records.
7. Certain easements in favor of Farmington Commons Realty Corporation as set forth in a grant dated July 31, 1975 and recorded in Volume 243 at Page 40 of the Farmington Land Records.
8. Easement in favor of the Hartford Electric Light Company dated October 10, 1975 and recorded in Volume 245 at Page 158 of the Farmington Land Records.
9. Certificate of Special Exception or Variance issued by the Farmington Zoning Board of Appeals dated as of October 16, 1989 and recorded in Volume 495 at Page 55 of the Farmington Land Records.
10. Such rights as Martin Jay Potoff may have in and to a loft area consisting of approximately 128 square feet constructed in common area adjacent to Unit 3-E, as conveyed to said Potoff by Warranty Deed dated May 9, 1986 and recorded in Volume 330 at Page 643 of the Farmington Land Records.
11. Rights of Rebecca Field Jones as shown on map on file in Cabinet 51. No. 3144 in the Farmington Town Clerk's Office.
12. Riparian rights of others in and to Pope Brook.

Received for Record at FARMINGTON, CT
On 03/02/2020 At 11:44:27 am

Paula B. Ray
Paula B. Ray, Town Clerk

SCHEDULE A, PROPERTY DESCRIPTION

All that certain real property situated in the Town of Farmington, County of Hartford and State of Connecticut, being more particularly known and designated as Unit Nos. 4-A and 4-B of Farmington Commons, together with the appurtenances thereto, including, but not limited to, an undivided interest in the Limited Common Elements. Said Unit exists pursuant to the Declaration of Farmington Commons Condominium dated June 1, 1976 and recorded in Volume 248 at Page 35 of the Farmington Land Records; as amended by Amendment Number One to Declaration dated July 1, 1976 and recorded in Volume 248 at Page 827; as further amended by Amendment Number Two to Declaration dated July 15, 1978 and recorded in Volume 262 at Page 1057 of said land records; as further amended by Amendment Number Three to Declaration dated October 13, 1998 and recorded in Volume 580 at Page 617 of said land records; as corrected in Volume 586 at Page 221; as may be further amended from time to time.

LEGEND

- PROPERTY LINE
- x- FENCE
- 2B- ELEVATION CONTOUR
- WATER MAIN
- OVERHEAD WIRES
- GAS MAIN
- UNDERGROUND ELECTRIC SERVICE
- TELECOM LINE
- TREE LINE
- LIMIT OF PARCEL 'A' (PARKING) SUBJECT TO R.E.A.
- LIMIT OF PARCEL 'B' (PARKING) SUBJECT TO R.E.A.
- YARD DRAIN
- CATCH BASIN
- MANHOLE
- TRANSFORMER
- ELECTRIC BOX
- LIGHT STANDARD
- TELECOM BOX
- UTILITY POLE
- HYDRANT
- WATER GATE
- GAS METER
- GAS GATE
- A/C UNIT
- GANG MAILBOX
- TREES
- BUSH
- STUMP
- SIGNS
- SPOT ELEVATION
- FINISH FLOOR ELEVATION
- CONCRETE
- BIT.
- TF
- INV
- BUILDING NUMBER



THIS DRAWING HAS BEEN PREPARED BASED, IN PART, ON INFORMATION PROVIDED BY OTHERS RELATING TO THE LOCATION OF UNDERGROUND SERVICES. WE CAN NOT VERIFY THE ACCURACY OF THIS INFORMATION AND SHALL NOT BE HELD RESPONSIBLE FOR ANY ERRORS OR OMISSIONS WHICH MAY BE INCORPORATED HEREIN AS A RESULT. INDICATED UNDERGROUND UTILITIES ARE BASED ON AVAILABLE DATA. THE LOCATIONS ARE APPROXIMATE AND ALL UTILITIES MAY NOT BE SHOWN. CALL "CALL B-4-U DIG" AT 1-800-922-4455 PRIOR TO ANY EXCAVATION.

ZONING DATA TABLE:

ZONE:	BLDG. HEIGHT	BLDG. LENGTH	FLOOR AREA	FRONTAGE	LOT AREA	FRONT YARD	SIDE YARD	REAR YARD	IMPERVIOUS COVERAGE
BR (EXISTING)	36' MAX.	NO REQUIREMENT	NO REQUIREMENT	200' MIN.	80,000 S.F. MIN.	65' MIN.	50' MIN.	50' MIN. (RES.) 30' (COMM.)	40% MAX.
FC (PROPOSED)	2 STORIES MIN. (ABOVE GRADE)	25' MIN.	5,000 S.F./BLDG. MAX.	0' MIN.	0' MIN.	0' MIN.	0' MIN.	10' MIN.	85% MAX. 100% W/ 1/8 VOTE
EXISTING	2 STORIES (SPLIT LEVEL STYLE GROUND FLOOR SET PARTLY INTO GRADE)	VARIES	3,432 S.F./BLDG 1 5,398 S.F./BLDG 2 7,236 S.F./BLDG 3 3,787 S.F./BLDG 4 BLDG BUILT IN 1976	62.87'	98,110 S.F.	127.6'	50.1'	77.0'	38.8%

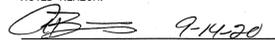
THERE ARE NO SITE IMPROVEMENTS PROPOSED WITH THIS ZONE CHANGE REQUEST

REFERENCE MAPS:

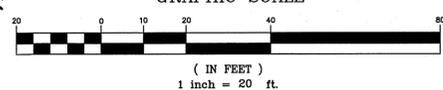
- "PLAN OF SUBDIVISION, LAND OWNED BY FARMINGTON COMMONS REALTY CORPORATION, FARMINGTON AVENUE, FARMINGTON, CONNECTICUT, SCALE 1"=30', JANUARY, 1974" BY HODGE SURVEYING ASSOCIATES, P.C."
- "DEPENDENT RESURVEY, PREPARED FOR DAVID OCCHIALINI, 3 MOUNTAIN SPRING ROAD, FARMINGTON, CONNECTICUT, DATE: 04-27-12, SCALE: 1"=40' SHEET 1 OF 1" BY THE BONGIOVANNI GROUP, INC."
- "ZONING LOCATION SURVEY, SHOWING "AS-BUILT" PREPARED FOR PAC GROUP LLC, 788 FARMINGTON AVENUE (ROUTE #4) AND BACKAGE ROAD, FARMINGTON, CONNECTICUT DATED 07/17/17, SCALE: 1"=20' SHEET 1/1, REVISED TO 06-17-19" BY BERKSHIRE ENGINEERING AND SURVEYING, LLC."
- "MAP OF EASEMENTS FOR SHARED PARKING ON PROPERTY OWNED BY FARMINGTON COMMONS REALTY CORPORATION & CONNECTICUT COMMONS GROUP, FARMINGTON AVENUE, FARMINGTON, CONNECTICUT, SCALE: 1"=30' JUNE, 1975" BY HODGE SURVEYING ASSOCIATES, P.C."
- "MAP OF LOTS OWNED BY AUSTIN D. BARNEY, WESTERLY OF FARMINGTON AVENUE, FARMINGTON CONNECTICUT, SCALE 1"=40', MARCH 1949" BY MERTON HODGE, SURVEYOR."
- "MAP OF LAND OWNED BY CONNECTICUT COMMONS GROUP, NORTHERLY OF FARMINGTON AVENUE, FARMINGTON, CONNECTICUT, SCALE 1"=30', JUNE 1976, EXHIBIT "B" TO THE DECLARATION OF CONDOMINIUM, CONNECTICUT COMMONS GROUP, JUNE 1, 1976, VOL 248, PAGE 35" BY HODGE SURVEYING ASSOCIATES, P.C."
- "RIGHT OF WAY SURVEY, TOWN OF FARMINGTON, MAP SHOWING LAND ACQUIRED FROM FARMINGTON COMMONS BY THE STATE OF CONNECTICUT DEPARTMENT OF TRANSPORTATION, SAFETY & TRAFFIC OPERATIONAL IMPROVEMENTS ON ROUTE 4 (FARMINGTON AVE.), SCALE 1"=20', MAY 2014, THOMAS A. HATLEY, P.E." BY THE CONNECTICUT DEPARTMENT OF TRANSPORTATION.
- "PROPERTY SURVEY DEPICTING LAND TO BE ACQUIRED AND APPENDED TO "PARCEL B", 788 FARMINGTON AVENUE, LLC, FARMINGTON AVENUE (ROUTE 4), FARMINGTON, CONNECTICUT, SCALE 1"=30', DATE MARCH 21, 2017, SHEET 1 OF 1, BY MILONE & MACBROOM"

NOTES:

- THIS SURVEY HAS BEEN PREPARED PURSUANT TO THE REGULATIONS OF CONNECTICUT STATE AGENCIES SECTIONS 20-300b-1 THROUGH 20-300b-20, AS REVISED.
TYPE OF SURVEY: PROPERTY SURVEY
BOUNDARY DETERMINATION CATEGORY: RESURVEY
CLASS OF HORIZONTAL ACCURACY: A-2
CLASS OF TOPOGRAPHIC ACCURACY: T-2
- HORIZONTAL DATUM IS BASED ON REFERENCE MAP 2.
- ELEVATIONS ARE BASED ON NAVD 88.
- PARCELS 'A' AND 'B' REFER TO RECIPROCAL PARKING EASEMENT AREAS SET FORTH IN VOL. 243, PG. 40 OF THE FARMINGTON LAND RECORDS AND SHOWN ON REFERENCE MAP 4.
- PARKING SPACES NORTH OF POPE BROOK ARE EXCLUDED FROM THE RECIPROCAL PARKING EASEMENT AGREEMENT AS SET FORTH ON VOL. 243, PG. 41 OF THE FARMINGTON LAND RECORDS.
- POPE BROOK MAY BE SUBJECT TO RIPARIAN RIGHTS OF OTHERS.
- THIS MAP IS VALID ONLY IF IT BEARS THE ORIGINAL SIGNATURE AND EMBOSSED SEAL OF THE UNDERSIGNED LAND SURVEYOR.

TO MY KNOWLEDGE AND BELIEF, THIS MAP IS SUBSTANTIALLY CORRECT AS NOTED HEREON.

 SURVEYOR'S SIGNATURE DATE 9-14-20 LICENSE NUMBER 14649

GRAPHIC SCALE



REF. MAP 2

PROPERTY SURVEY
EXISTING CONDITIONS PLAN

MAP OF
FARMINGTON COMMONS
OFFICE CONDOMINIUM
790 FARMINGTON AVENUE
FARMINGTON, CONNECTICUT

PROPOSED
ZONE CHANGE
FROM BR ZONE
TO FC ZONE

BGI
THE BONGIOVANNI GROUP, INC.
LAND SURVEYORS
Newington, Conn. 06111
TEL. (860) 666-0134
FAX. (860) 666-3830

Date:	Scale:	Checked:	Date
6-29-20	1"=20'	AB	
Revision	Drawn:	Check:	Date
	OMS		
Revision	Notes	Revision	Date
	REVISE TABLE, ADD SHEET TO SET		9-14-20
	GENERAL REVISIONS		8-28-20
			8-24-20

LEGEND

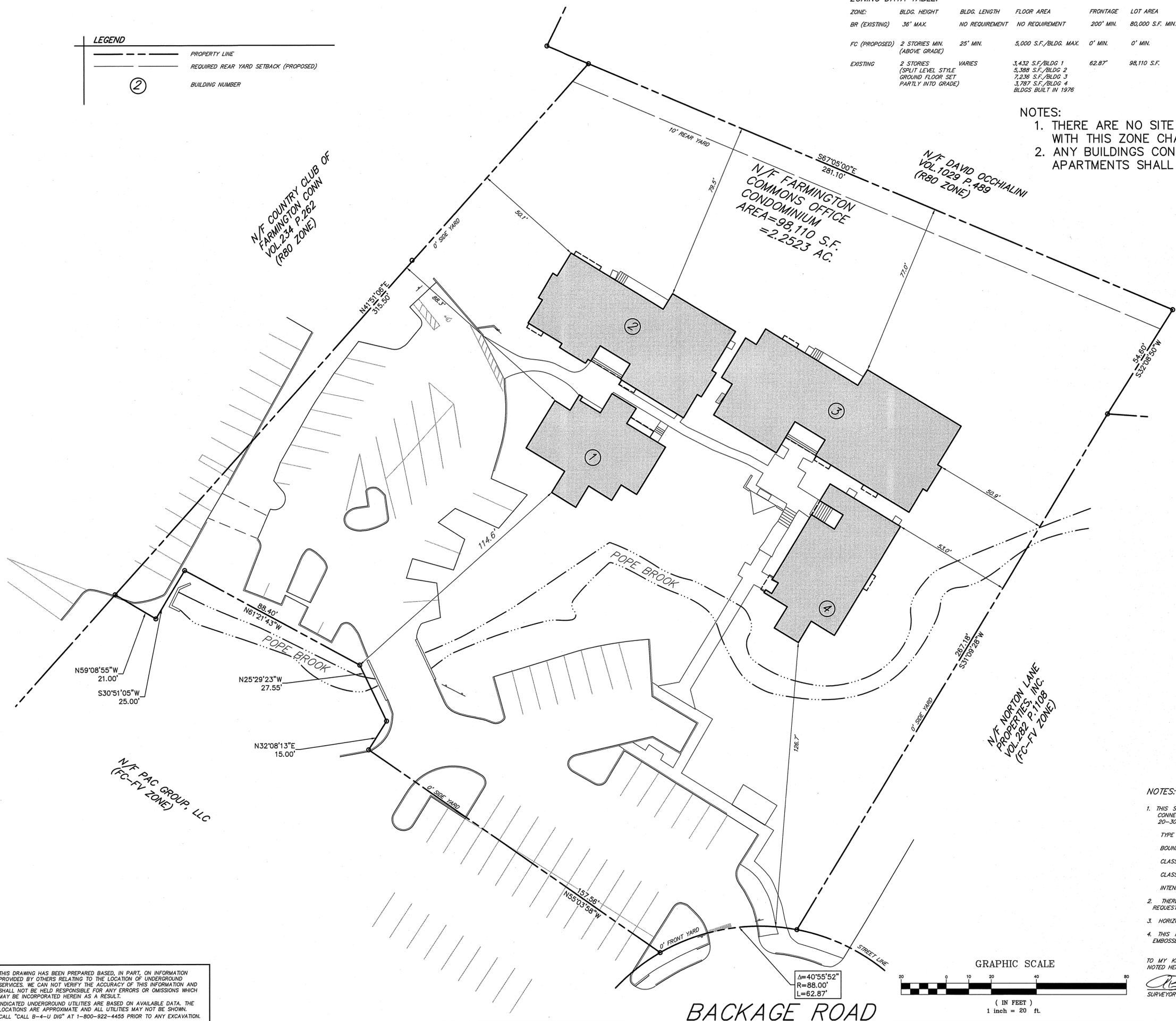
- PROPERTY LINE
- - - - - REQUIRED REAR YARD SETBACK (PROPOSED)
- ② BUILDING NUMBER

ZONING DATA TABLE:

ZONE:	BLDG. HEIGHT	BLDG. LENGTH	FLOOR AREA	FRONTAGE	LOT AREA	FRONT YARD	SIDE YARD	REAR YARD	IMPERVIOUS COVERAGE
BR (EXISTING)	36' MAX.	NO REQUIREMENT	NO REQUIREMENT	200' MIN.	80,000 S.F. MIN.	65' MIN.	50' MIN.	50' MIN. (RES.) 30' (COMM.)	40% MAX.
FC (PROPOSED)	2 STORIES MIN. (ABOVE GRADE)	25' MIN.	5,000 S.F./BLDG. MAX.	0' MIN.	0' MIN.	0' MIN.	0' MIN.	10' MIN.	85% MAX. 100% W/ 2/3 VOTE
EXISTING	2 STORIES (SPLIT LEVEL STYLE GROUND FLOOR SET PARTLY INTO GRADE)	VARIES	3,432 S.F./BLDG 1 5,388 S.F./BLDG 2 7,236 S.F./BLDG 3 3,787 S.F./BLDG 4 BLDGS BUILT IN 1976	62.87'	98,110 S.F.	127.6'	50.1'	77.0'	38.8%

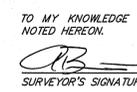
NOTES:

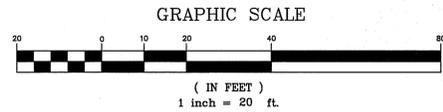
1. THERE ARE NO SITE IMPROVEMENTS PROPOSED WITH THIS ZONE CHANGE REQUEST.
2. ANY BUILDINGS CONVERTED TO RESIDENTIAL APARTMENTS SHALL REQUIRE FIRE SPRINKLERS.



NOTES:

1. THIS SURVEY HAS BEEN PREPARED PURSUANT TO THE REGULATIONS OF CONNECTICUT STATE AGENCIES SECTIONS 20-300b-1 THROUGH 20-300b-20, AS REVISED.
TYPE OF SURVEY: ZONING DATA SURVEY
BOUNDARY DETERMINATION CATEGORY: RESURVEY
CLASS OF HORIZONTAL ACCURACY: A-2
CLASS OF TOPOGRAPHIC ACCURACY: T-2
INTENDED USE: PROPOSED ZONE CHANGE TO ZONE FC.
2. THERE ARE NO SITE IMPROVEMENTS PROPOSED WITH THIS ZONE CHANGE REQUEST.
3. HORIZONTAL DATUM IS BASED ON REFERENCE MAP 2.
4. THIS MAP IS VALID ONLY IF IT BEARS THE ORIGINAL SIGNATURE AND EMBOSSED SEAL OF THE UNDERSIGNED LAND SURVEYOR.

TO MY KNOWLEDGE AND BELIEF, THIS MAP IS SUBSTANTIALLY CORRECT AS NOTED HEREON.
 8-28-20 14649
 SURVEYOR'S SIGNATURE DATE LICENSE NUMBER



THIS DRAWING HAS BEEN PREPARED BASED, IN PART, ON INFORMATION PROVIDED BY OTHERS RELATING TO THE LOCATION OF UNDERGROUND SERVICES. WE CAN NOT VERIFY THE ACCURACY OF THIS INFORMATION AND SHALL NOT BE HELD RESPONSIBLE FOR ANY ERRORS OR OMISSIONS WHICH MAY BE INCORPORATED HEREIN AS A RESULT.
 INDICATED UNDERGROUND UTILITIES ARE BASED ON AVAILABLE DATA. THE LOCATIONS ARE APPROXIMATE AND ALL UTILITIES MAY NOT BE SHOWN.
 CALL "CALL B-4-U DIG" AT 1-800-922-4455 PRIOR TO ANY EXCAVATION.

REF. MAP 2

ZONING DATA SURVEY

MAP OF
**FARMINGTON COMMONS
 OFFICE CONDOMINIUM**
 790 FARMINGTON AVENUE
 FARMINGTON, CONNECTICUT

PROPOSED
 ZONE CHANGE
 FROM BR ZONE
 TO FC ZONE

Sheet
2 of **3**



Date: 8-29-20	Scale: 1"=20'
Drawn: OMS	Checked: AB
Revision	Date
ADD SHEET TO SET	8-28-20

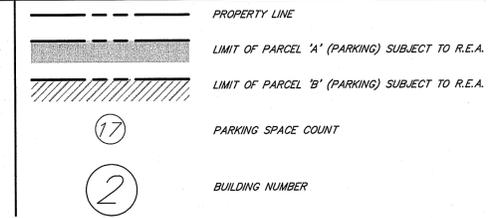


ZONING DATA TABLE:

ZONE:	BLDG. HEIGHT	BLDG. LENGTH	FLOOR AREA	FRONTAGE	LOT AREA	FRONT YARD	SIDE YARD	REAR YARD	IMPERVIOUS COVERAGE
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FC (PROPOSED)	2 STORIES MIN. (ABOVE GRADE)	25' MIN.	5,000 S.F./BLDG. MAX.	0' MIN.	0' MIN.	0' MIN.	0' MIN.	10' MIN.	85% MAX. 100% W/ 2/3 VOTE
EXISTING	2 STORIES (SPLIT LEVEL STYLE GROUND FLOOR SET PARTLY INTO GRADE)	VARIABLES	3,432 S.F./BLDG 1 5,398 S.F./BLDG 2 7,238 S.F./BLDG 3 3,787 S.F./BLDG 4 BLDGS BUILT IN 1976	62.87'	98,110 S.F.	127.6'	50.1'	77.0'	38.8%

THERE ARE NO SITE IMPROVEMENTS PROPOSED WITH THIS ZONE CHANGE REQUEST

LEGEND



PARKING DATA TABLE:

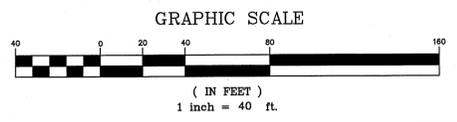
EXISTING ZONE: BUSINESS (BR)
 EXISTING BUILDING USE: BUSINESS OFFICE
 PARKING REQUIRED: 1 SPACE/225 GROSS S.F. (OFFICE)
 TOTAL BUILDING AREA 19,834 S.F. X 80% = 15,867 S.F./225 = 71 SPACES
 PROPOSED ZONE CHANGE: FARMINGTON CENTER ZONE (FC)
 PARKING REQUIRED:
 1 SPACE/285 GROSS S.F. (OFFICE-BUILDINGS 2 & 3)
 1.5 SPACES/1-BEDROOM UNIT (RESIDENTIAL-BUILDINGS 1 & 4)
 BUILDING 1: 6 1-BEDROOM UNITS x 1.5 = 9 SPACES REQUIRED
 BUILDING 2: 5,398 x 80% = 4,310 GROSS S.F./285 = 15 SPACES REQUIRED
 BUILDING 3: 7,238 x 80% = 5,790 GROSS S.F./285 = 20 SPACES REQUIRED
 BUILDING 4: 6 1-BEDROOM UNITS x 1.5 = 9 SPACES REQUIRED
 TOTAL PARKING REQUIRED: 55 SPACES
 EXISTING PARKING AVAILABLE ON-SITE: 53 SPACES
 EXISTING PARKING AVAILABLE WITHIN RECIPROCAL PARKING EASEMENT (R.E.A.): 79 SPACES
 TOTAL PARKING AVAILABLE: 132 SPACES

NOTES:

- THIS MAP HAS BEEN PREPARED PURSUANT TO THE REGULATIONS OF CONNECTICUT STATE AGENCIES, SECTIONS 20-300b-1 THROUGH 20-300b-20 AND THE "STANDARDS FOR SURVEYS AND MAPS IN THE STATE OF CONNECTICUT" AS ADOPTED BY THE CONNECTICUT ASSOCIATION OF LAND SURVEYORS, INC. ON SEPTEMBER 26, 1996; THIS PLAN WAS COMPILED FROM OTHER MAPS, RECORD RESEARCH OR OTHER SOURCES OF INFORMATION. IT IS NOT TO BE CONSTRUED AS HAVING BEEN OBTAINED AS THE RESULT OF A FIELD SURVEY, AND IS SUBJECT TO SUCH CHANGE AS AN ACCURATE FIELD SURVEY MAY DISCLOSE.
 TYPE OF SURVEY: COMPILATION PLAN
 CLASS OF HORIZONTAL ACCURACY: D
- PARCELS 'A' AND 'B' REFER TO RECIPROCAL PARKING EASEMENT AREAS SET FORTH IN VOL. 243, PG. 40 OF THE FARMINGTON LAND RECORDS AND SHOWN ON REFERENCE MAP 4.
- PARKING SPACES NORTH OF POPE BROOK ARE EXCLUDED FROM THE RECIPROCAL PARKING EASEMENT AGREEMENT AS SET FORTH ON VOL. 243, PG. 41 OF THE FARMINGTON LAND RECORDS.
- THIS MAP IS VALID ONLY IF IT BEARS THE ORIGINAL SIGNATURE AND EMBOSSED SEAL OF THE UNDERSIGNED LAND SURVEYOR.

TO MY KNOWLEDGE AND BELIEF, THIS MAP IS SUBSTANTIALLY CORRECT AS NOTED HEREON.

CB 9-14-20 14649
 SURVEYOR'S SIGNATURE DATE LICENSE NUMBER



OFFSITE EASEMENT MAP

MAP OF FARMINGTON COMMONS OFFICE CONDOMINIUM 790 FARMINGTON AVENUE FARMINGTON, CONNECTICUT

PROPOSED ZONE CHANGE FROM BR ZONE TO FC ZONE

Scale: 1"=40'

Date: 6-29-20	Checked: AB	Date
Drawn: CMS	Revision	9-14-20
	REVISE NOTES	8-28-20
	REVISE TABLES, ADD SHEET TO SET	8-24-20
	NUMBER PARKING SPACES	

THE BONGIOVANNI GROUP, INC.
 LAND SURVEYORS
 1000 FARMINGTON AVENUE
 FARMINGTON, CONNECTICUT 06111
 TEL. (860) 666-0134
 FAX (860) 666-3630

Sheet 3 of 3

CODE REVIEW

ALTERATIONS TO EXISTING BUILDING
WITH CHANGE OF USE CODE CLASSIFICATION INFORMATION

PROJECT DESCRIPTION:
CONVERSION OF A 3,406 SF, 2.5 STORY COMMERCIAL OFFICE BUILDING INTO A RESIDENTIAL APARTMENT BUILDING CONSISTING OF 6 SINGLE BEDROOM UNITS RANGING FROM 428 SF TO 568 SF.

USE GROUP: R-2, RESIDENTIAL: APARTMENT HOUSE

CONSTRUCTION TYPE: VB
PROP. CONST. TYPE: SAME - VB

BUILDING DIMENSIONS	AREA PER FLOOR	NO. OF STORIES	BUILDING HT. FT.
EXISTING	1,740 S.F.	2.5	32'-2"
NEW	0 S.F.	0	0'-0"
TOTAL	1,740 S.F.	2.5	32'-2"
PERMITTED	7,000 S.F.	3	60'-0"

SPRINKLERED: YES NO
NATURE OF NEW CONSTRUCTION:
 INTERIOR CONSTRUCTION
 ADDITIONS AND ALTERATIONS

RATINGS OF NEW CONSTRUCTION ELEMENTS	STRUCTURAL FRAME	INT. NONBEARING WALLS	EXT. BEARING WALLS	FLOOR CONST.	INT. BEARING WALLS	ROOF CONST.	EXT. NONBEARING WALLS
	0	0	0	0	0	0	0

EXITWAYS:
TENANT OR USE AREA: R-RESIDENTIAL 3,406 S.F.
NO. OF OCCUPANTS @ 1 PER 200 = 18 OCCUPANTS
NO. OF EXITS REQ. 1
MAX TRAVEL DIST. = 250' REQ. 87' PROPOSED = 87' COMMON PATH OF TRAVEL
E.U. = REQ.: DOORS, 1(36") STAIRS, 1(36") PROPOSED: 1(36") DOORS 1(36") STAIRS

HANDICAPPED ACCESS:
 REQUIRED AS EXISTS NEW
 NOT REQUIRED BECAUSE

BASIC REQUIREMENTS - STATE FIRE SAFETY CODE

FINISH REQUIREMENTS:
WALL SURFACES: EXITWAYS - CLASS A OR B
CORRIDORS - CLASS A OR B
OTHER AREAS - CLASS A,B OR C
FLOORS: EXITWAYS N/A CORRIDORS N/A OTHER AREAS ASTM D2859

NOTES:
1. FLOOR FINISHES NOT TESTED BY NEW STANDARDS MUST BE APPROVED IN WRITING BY THE STATE FIRE MARSHAL
2. CARPETS AND OTHER FABRICS NOT TESTED AS WALL FINISHES MAY NOT BE USED AS WALL FINISHES.
3. NO FINISHES SHALL BE INSTALLED UNTIL CERTIFIED COPIES OF TEST RESULTS HAVE BEEN SUPPLIED TO AND APPROVED BY ARCHITECT.

ALARMS:
 NOT REQUIRED, MANUAL REQUIRED, FULL AUTOMATIC REQUIRED,
 EXISTING TO REMAIN, EXISTING TO BE MODIFIED TO ABOVE

EXIT SIGNS AND LIGHTING:
 NOT REQUIRED, REQUIRED, EXISTING TO REMAIN & NEW

EMERGENCY LIGHTING:
 NOT REQUIRED, REQUIRED, EXISTING TO REMAIN & NEW

PORTABLE FIRE EXTINGUISHERS:
 NOT REQUIRED, REQUIRED, PROVIDE REQ. PER NFPA 10 (LOCATION PER F.M.)

- APPLICABLE CODES:
2012 INTERNATIONAL BUILDING CODE
2012 INTERNATIONAL EXISTING BUILDING CODE
2012 INTERNATIONAL MECHANICAL CODE
2012 INTERNATIONAL PLUMBING CODE
2014 NATIONAL ELECTRICAL CODE (NFPA 70)
2012 INTERNATIONAL ENERGY CONSERVATION CODE
2009 ICC/ANSI A117.1 ACCESSIBLE AND USABLE BUILDING & FACILITIES

FARMINGTON COMMONS

790 FARMINGTON AVE - BLDG #1
FARMINGTON, CT

EXISTING BUILDING RENOVATIONS

DRAWING TABLE OF CONTENTS

ARCHITECTURALS	MECHANICAL, ELECTRICAL AND PLUMBING
AG001 - GENERAL SHEET	P-101 - PLUMBING FLOOR PLANS
RA101 - EXISTING BUILDING PLANS	M-101 - MECHANICAL FLOOR PLANS
RA102 - EXISTING BUILDING PLANS	E-101 - ELECTRICAL FLOOR PLANS
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TYPICAL SECTIONS



GENERAL SYMBOLS LEGEND

BUILDING SECTION	
WALL SECTION	
EXTERIOR ELEVATION	
INTERIOR ELEVATION	
DETAIL SECTION	
DOOR NUMBER	

CONSTRUCTION NOTES

- MATCH ALL EXISTING MATERIALS WHERE REQ.
- C.O. REQ. - COMPLETE ALL WORK PRIOR TO INSPECTION BY B.O., PUNCH LIST AND COMPLETION SCHEDULE TO BE SUBMITTED TO ARCHITECT FOR CHECKING PRIOR TO REQUESTING FOR TEMP. C.O.
- ALL ELECTRICAL AND MECHANICAL ALTERATIONS TO BE BY LICENSED MECHANICS WHO ARE TO REVIEW CHANGES WITH B.O. PRIOR TO BEGINNING AND SUPPLY DRAWINGS AND/OR ENGINEERS SEAL UPON REQUEST.
- ALL WORK TO COMPLY WITH APPLICABLE CODE AND STANDARDS.
- ALL WORK TO BE PERFORMED BY MECHANICS SPECIFICALLY TRAINED AND EXPERIENCED IN THE WORK TO BE PERFORMED WHETHER BY SUBCONTRACTOR OR OWNERS FORCES.
- A RECORD SET OF DRAWINGS IS TO BE KEPT LOCATED AT THE SITE FOR USE BY B.O.
- WORK AREAS ARE TO BE KEPT NEAT AND CLEAN OF DEBRIS. TACK ALL NEW AND WASTE MATERIALS OUT OF WORK AREA. COIL OR TIE SECURELY ALL LOOSE SUSPENDED MATERIALS TO BE ABOVE 7'-0" AFF. SWEEP DAILY.
- LICENSED ELECTRICIAN ONLY TO PERFORM ELECTRICAL DEMOLITION.
- ALL PERMITS AND REQUIRED DOCUMENTATION FOR ASBESTOS REMOVAL TO BE SECURED BY CONTRACTOR AND SUBMITTED TO B.O.
- NO LOAD-BEARING STRUCTURES TO BE REMOVED OR ALTERED WITHOUT ARCHITECTS APPROVAL.
- CONTRACTOR TO REPLACE ANY BREACHES IN ASSEMBLIES DUE TO ACCIDENTAL OR REQUIRED PENETRATIONS WITH INFILLING MATERIALS OF EQUAL FIRE RATING. WHERE THERE IS ANY QUESTION REGARDING RECONSTRUCTION, CONTRACTOR TO VERIFY MATERIALS AND METHODS WITH ARCHITECT.
- CT LICENSED SPRINKLER DESIGNER TO PROVIDE SHOP DRAWINGS & CALCULATIONS FOR SPRINKLERS WHERE REQ.

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RPG FARMINGTON COMMONS
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GENERAL

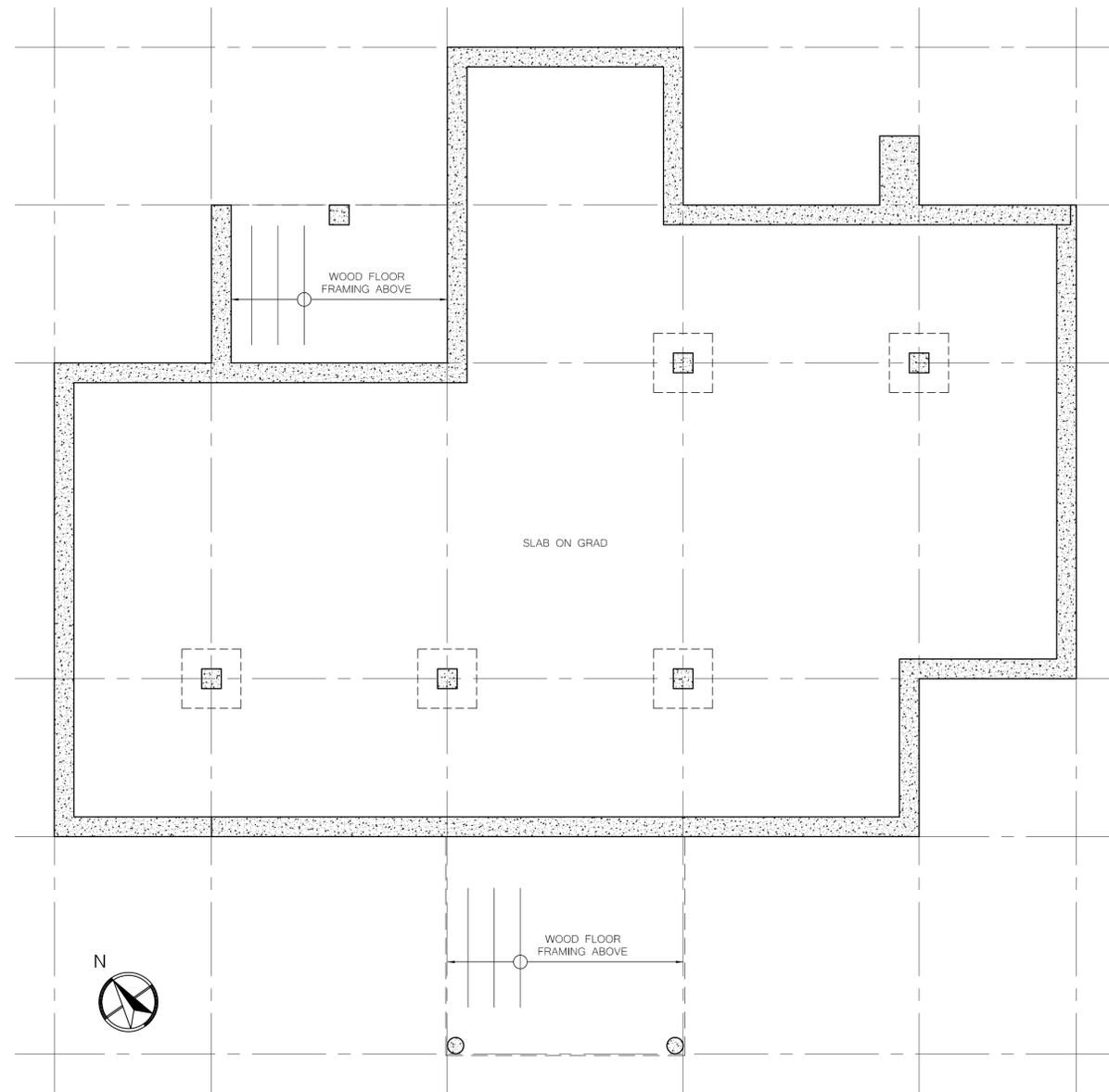
BID DRAWINGS

DRAWN BY:
MARK MARZI

REVISIONS		
ID	DATE	DESCRIPTION

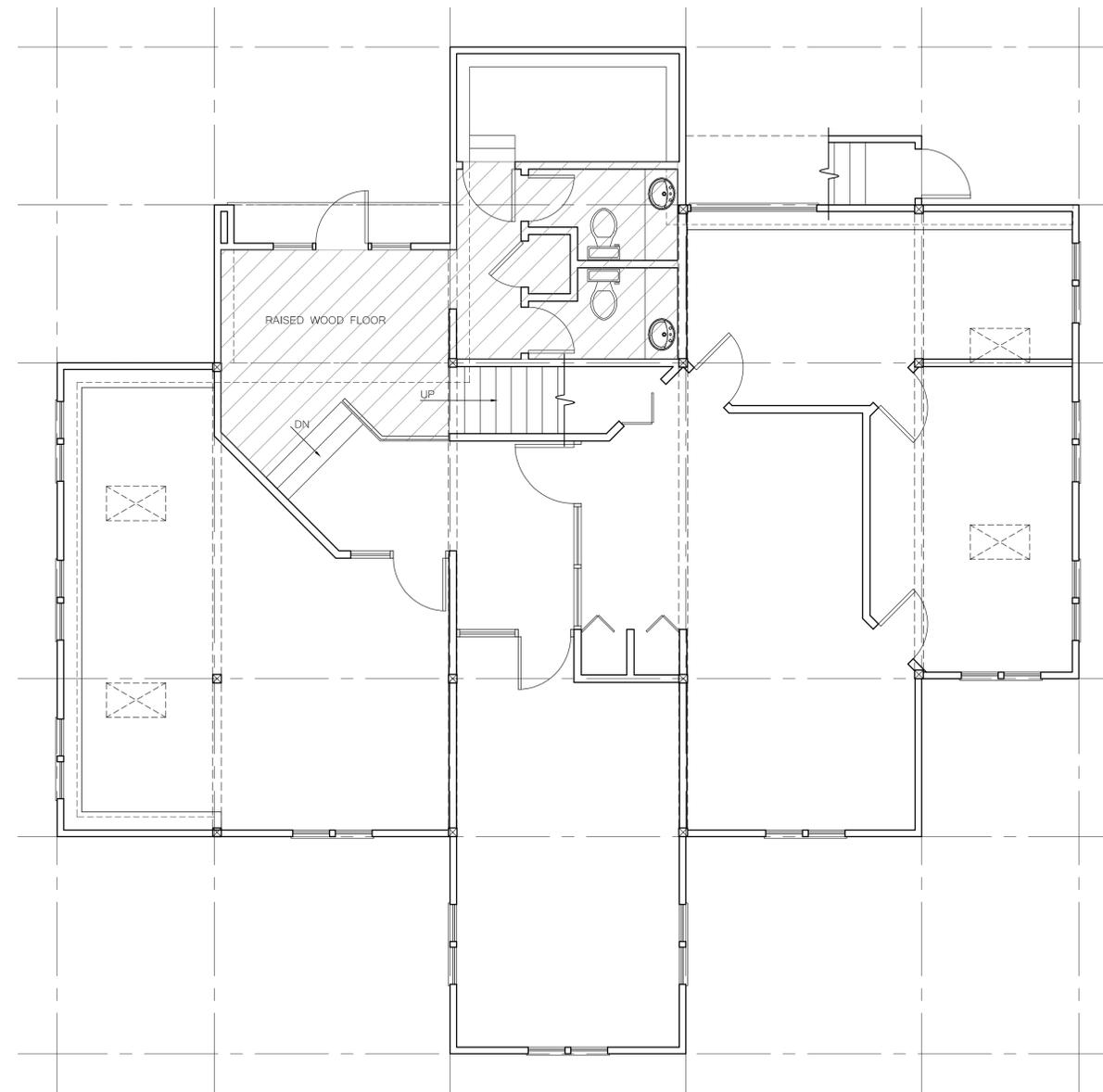
SHEET NO.
AG001

PROJECT NO. 2025
DATE 09.14.20



1 FIRST FLOOR PLAN

SCALE: 1/4"=1'-0"



1 FIRST FLOOR PLAN

SCALE: 1/4"=1'-0"

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EXISTING FLOOR PLANS

**BID
DRAWINGS**

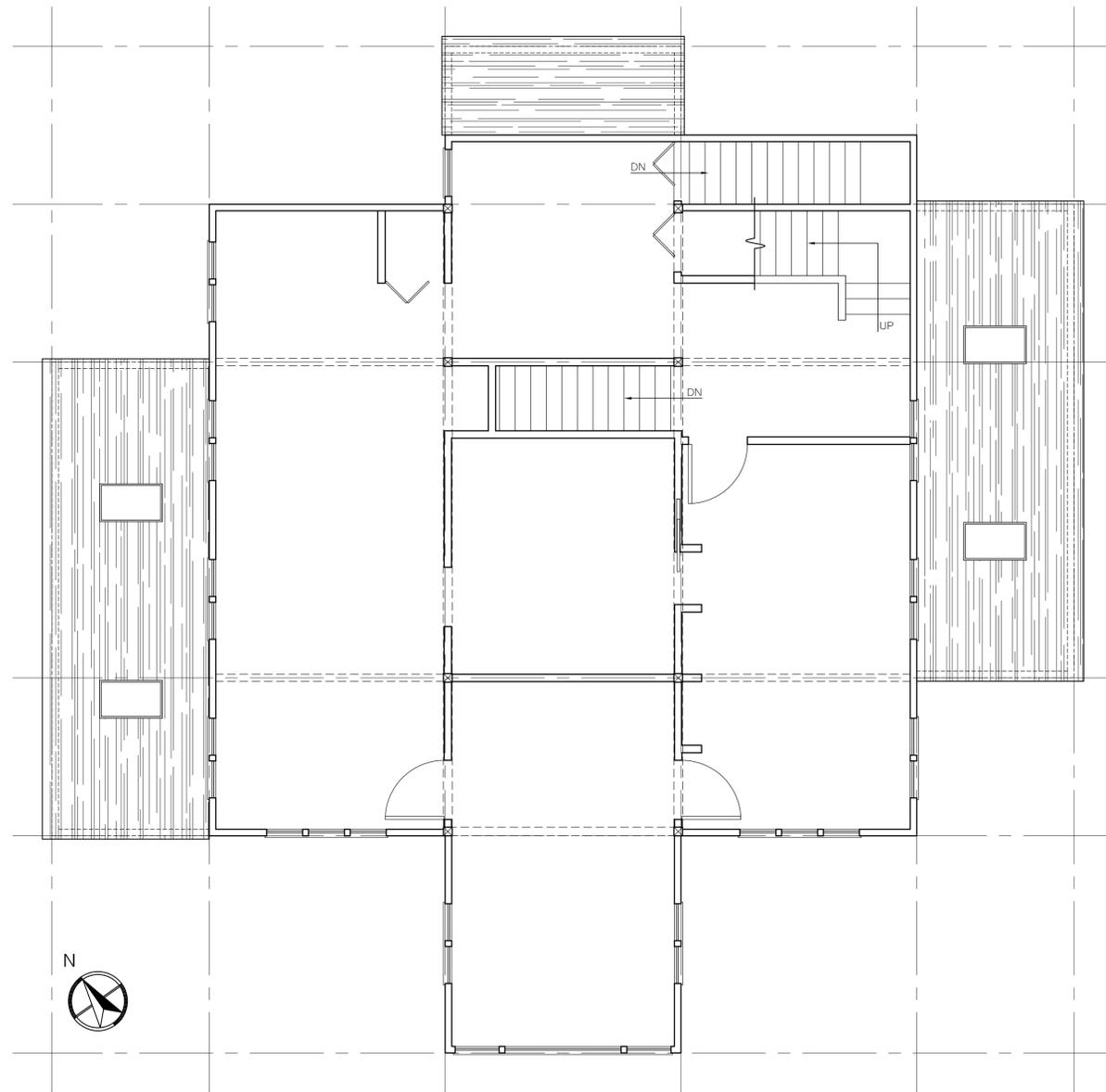
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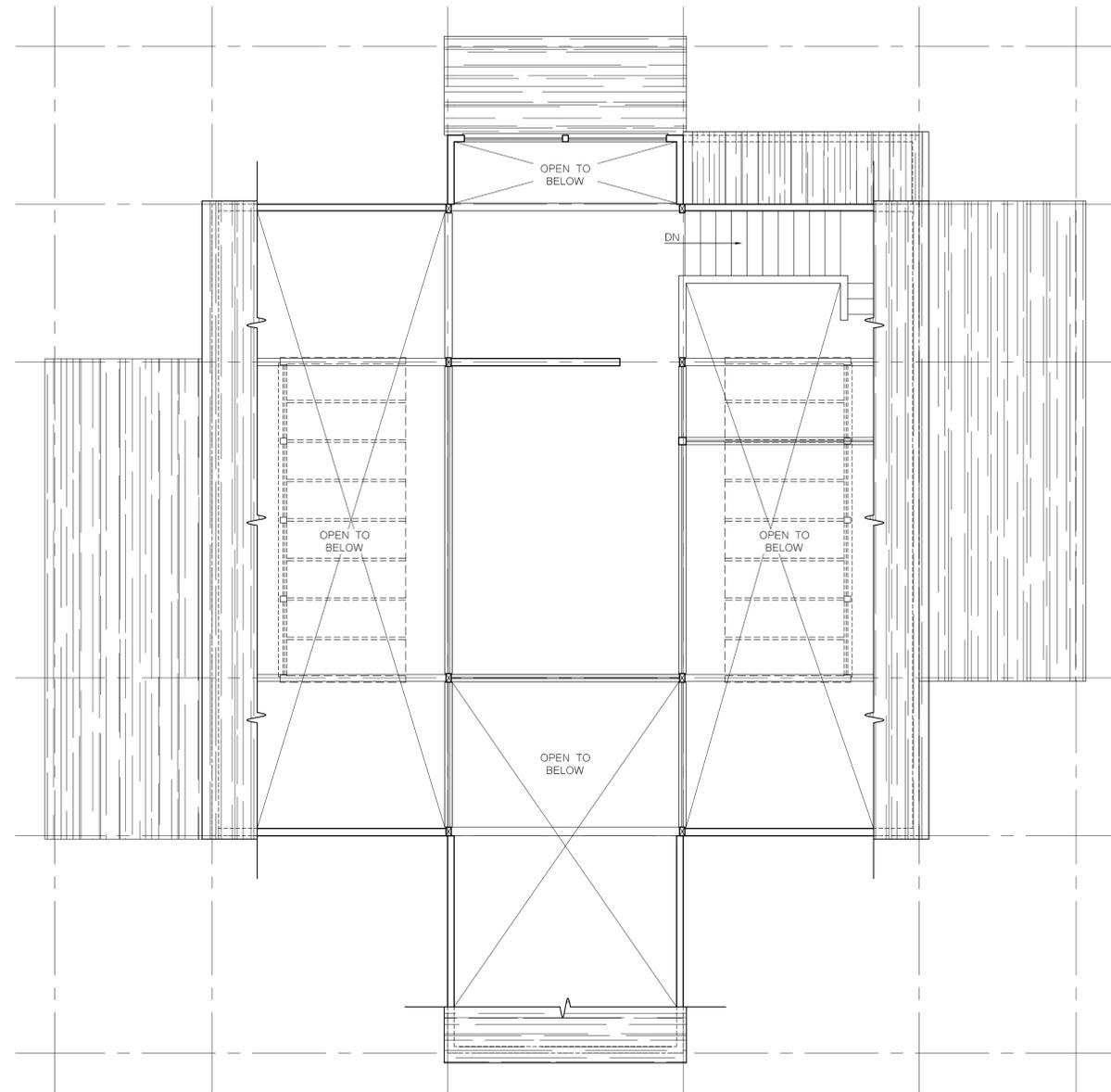
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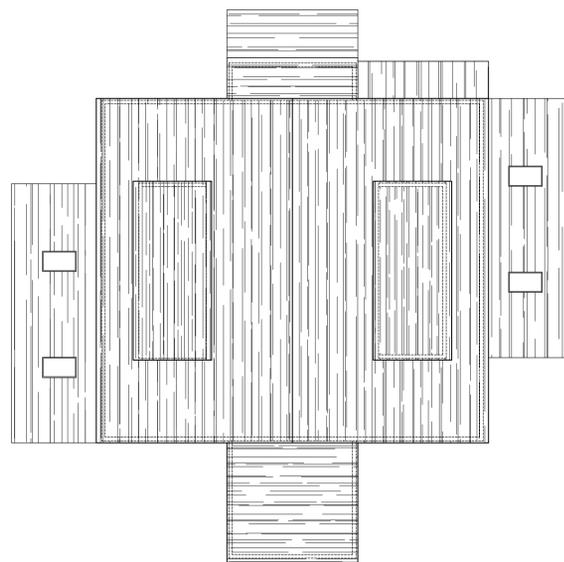
PROJECT NO. 2025
DATE 09.14.20



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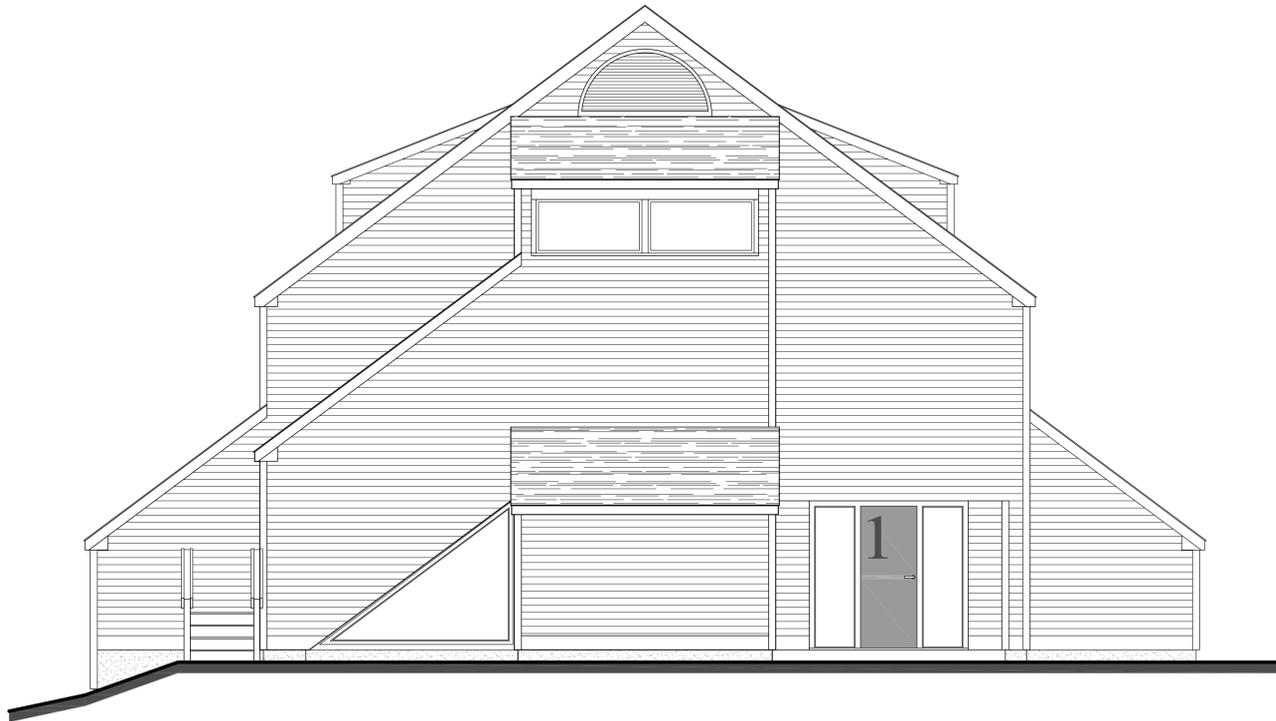


2 LOFT FLOOR PLAN
SCALE: 1/4"=1'-0"



3 ROOF PLAN
SCALE: 1/8"=1'-0"

ID	DATE	DESCRIPTION



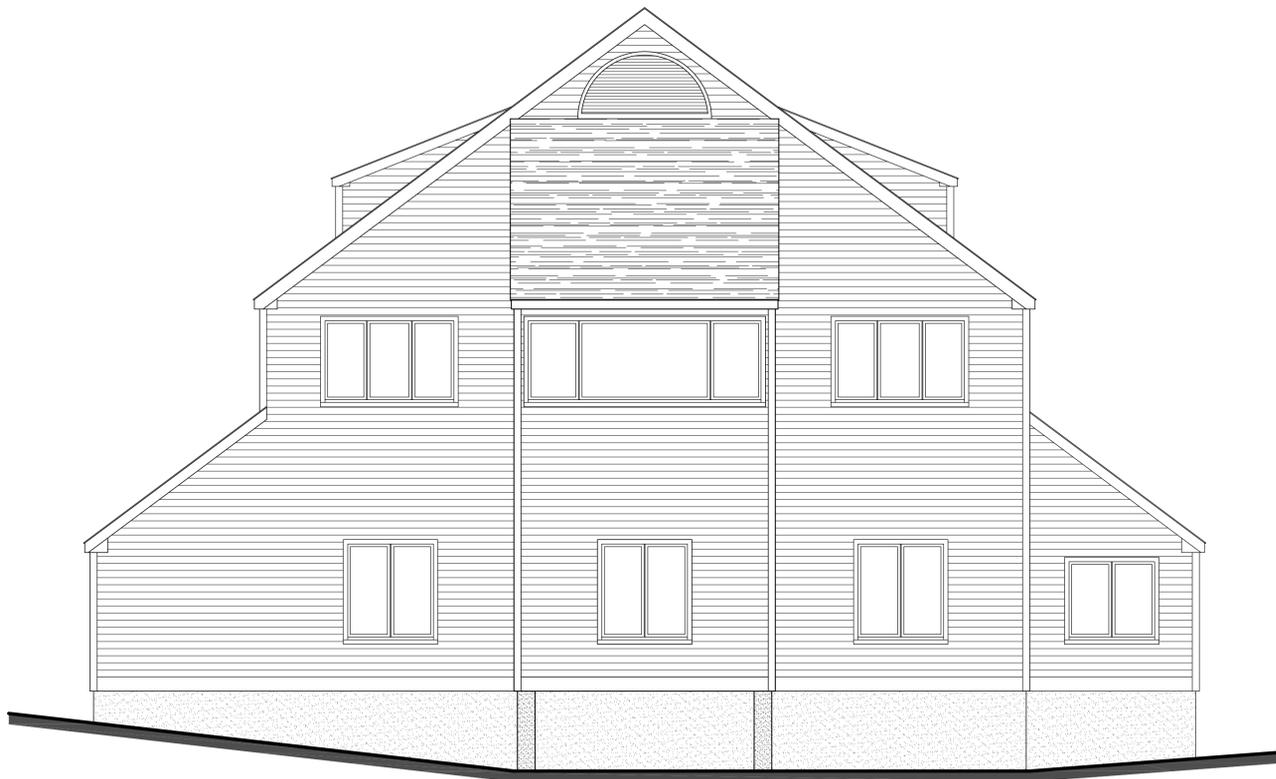
① NORTH ELEVATION

SCALE: 1/4"=1'-0"



② EAST ELEVATION

SCALE: 1/4"=1'-0"



③ SOUTH ELEVATION

SCALE: 1/4"=1'-0"

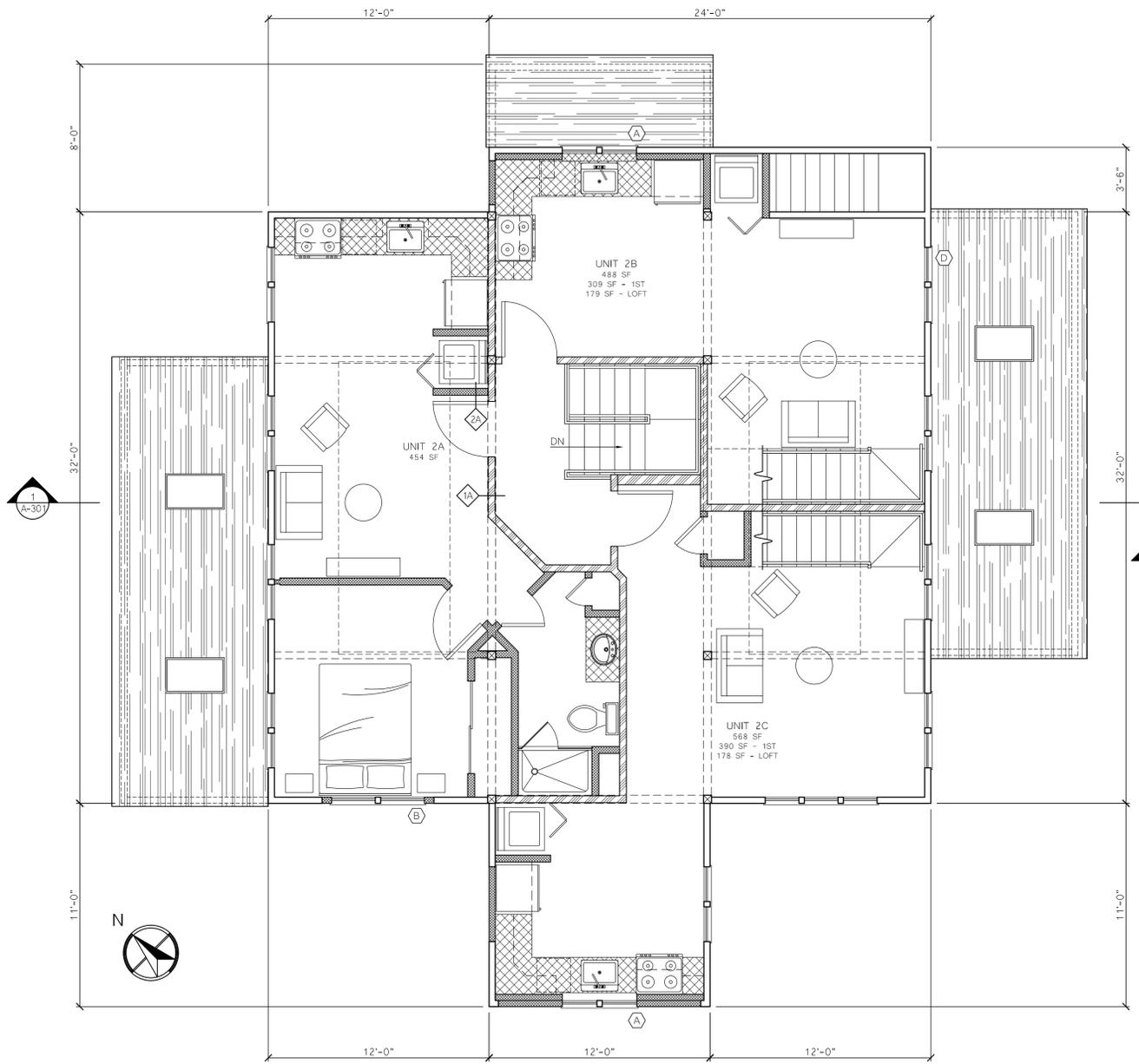


④ WEST ELEVATION

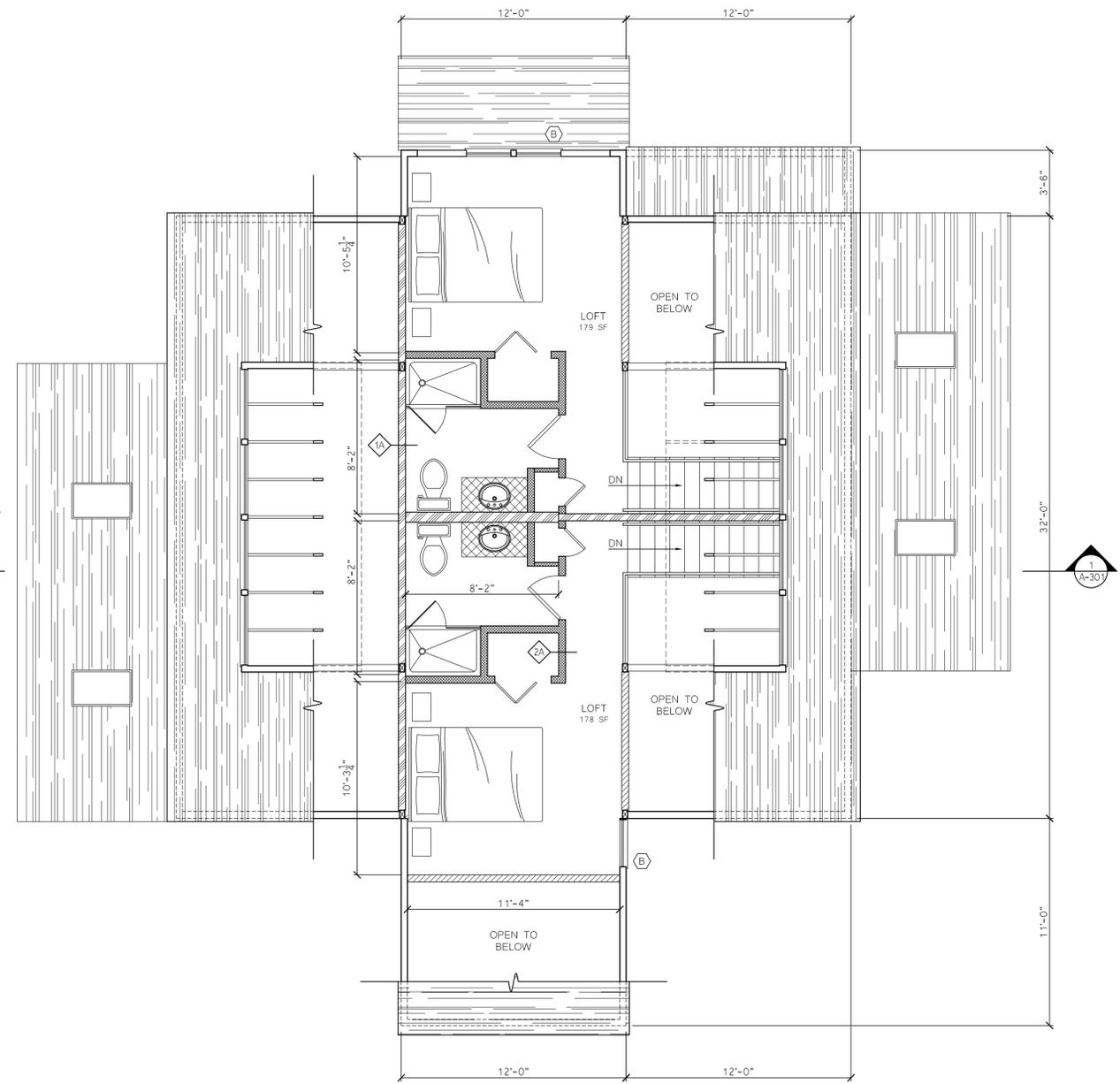
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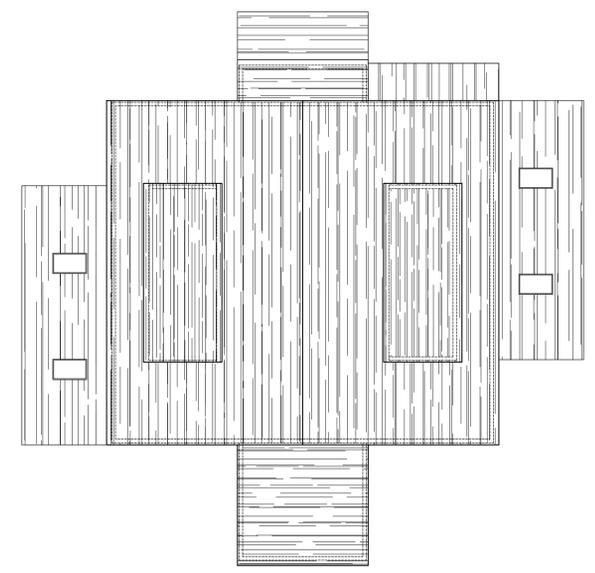
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1 SECOND FLOOR PLAN
SCALE: 1/4"=1'-0"



2 LOFT FLOOR PLAN
SCALE: 1/4"=1'-0"



3 ROOF PLAN
SCALE: 1/8"=1'-0"



1 NORTH ELEVATION
SCALE: 1/4"=1'-0"



2 EAST ELEVATION
SCALE: 1/4"=1'-0"



3 SOUTH ELEVATION
SCALE: 1/4"=1'-0"



4 WEST ELEVATION
SCALE: 1/4"=1'-0"

REVISIONS		
ID	DATE	DESCRIPTION

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BUILDING SECTIONS

BID
DRAWINGS

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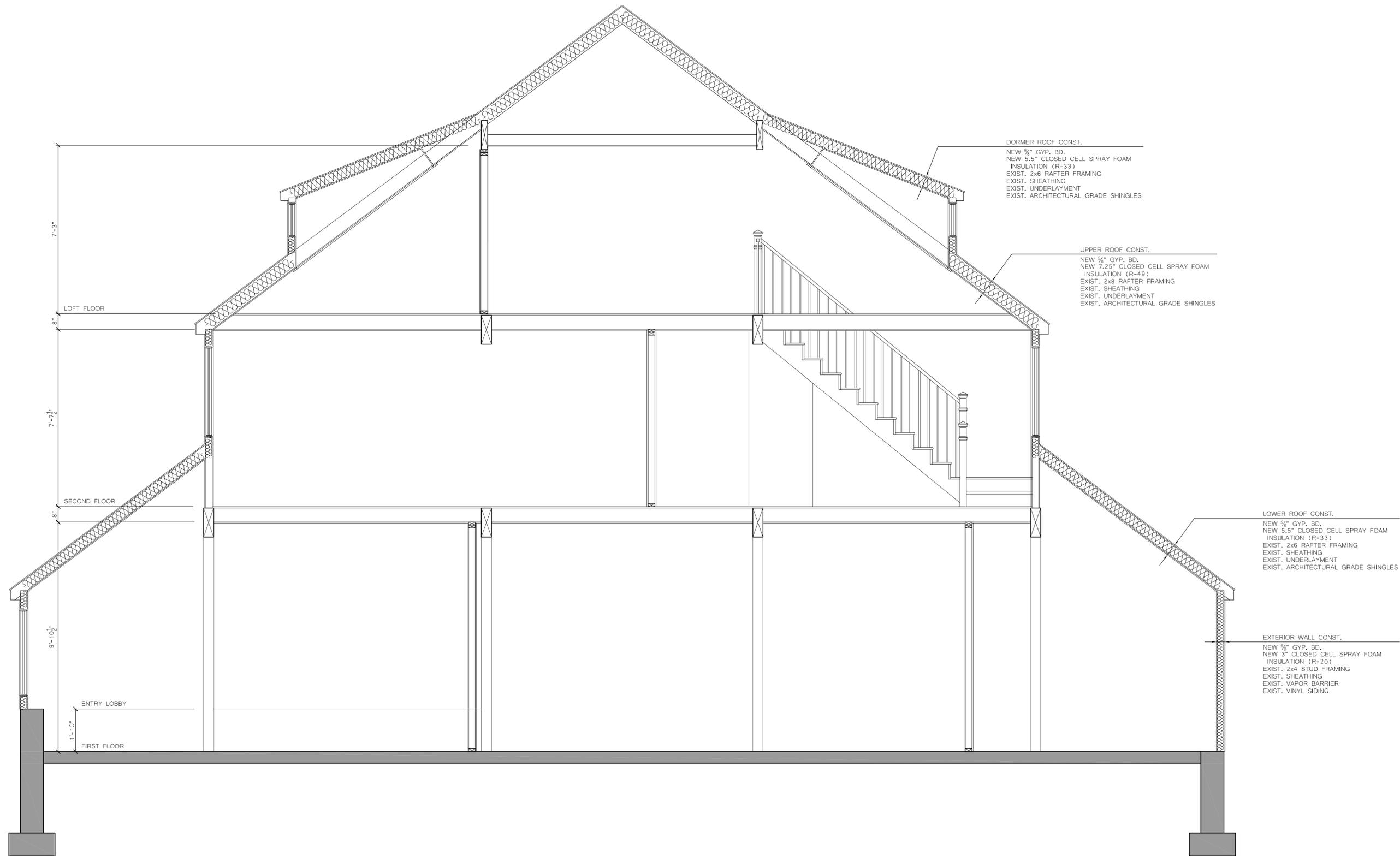
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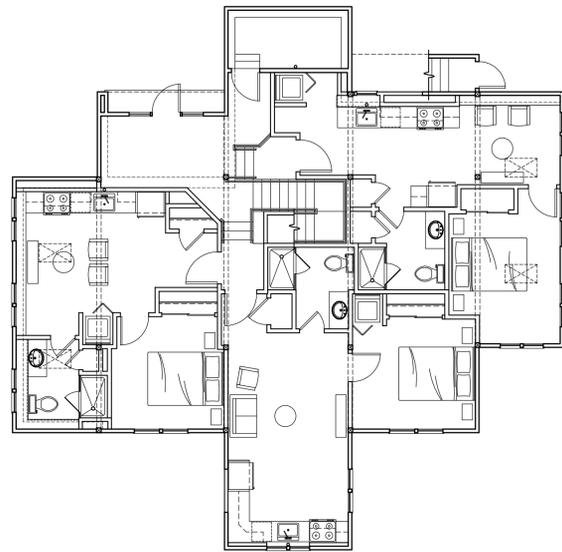
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PROJECT NO. 2025
DATE 09.14.20



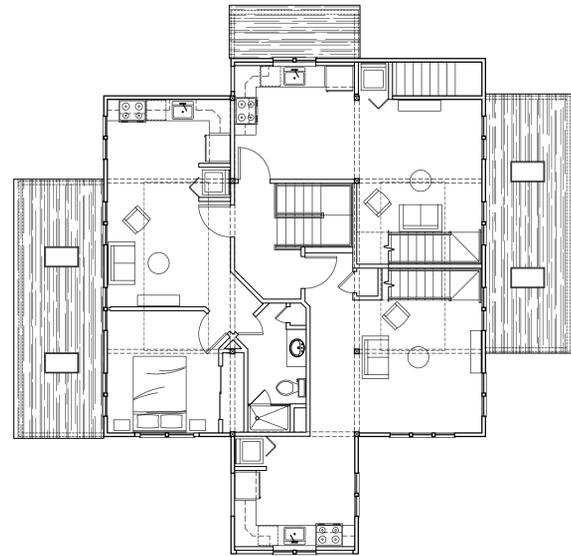
1 BUILDING SECTION

SCALE: 1/2"=1'-0"



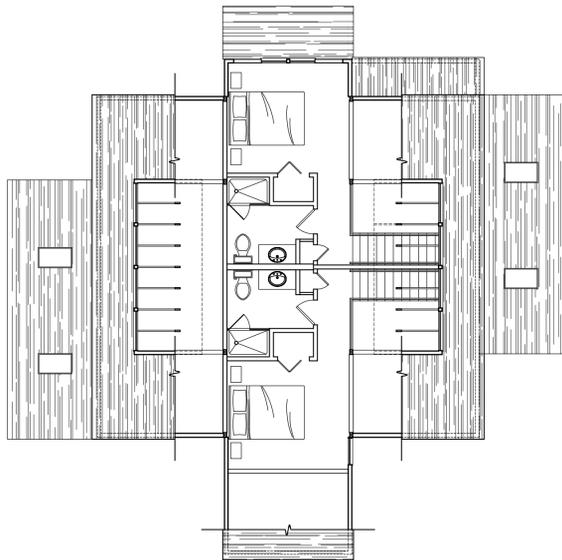
1 FIRST FLOOR PLAN

SCALE: 1/8"=1'-0"



2 SECOND FLOOR PLAN

SCALE: 1/8"=1'-0"



3 LOFT FLOOR PLAN

SCALE: 1/8"=1'-0"

FINISH SCHEDULE

ROOM	FLOOR	BASE	WALLS	CEIL'G	COUNTER/ CABINETS/ SHELVING	ROOM	FLOOR	BASE	WALLS	CEIL'G	COUNTER/ CABINETS/ SHELVING
ENTRY LOBBY						COMMON HALLWAY					
COMMON STAIRS						UNIT 2D					
UNIT 1A						LIVING ROOM	-	-	-	-	- / - / -
LIVING ROOM						KITCHEN					
KITCHEN						BEDROOM					
BEDROOM						BATHROOM					
BATHROOM						UNIT 2E					
UNIT 1B						LIVING ROOM					
LIVING ROOM						KITCHEN					
KITCHEN						BEDROOM					
BEDROOM						BATHROOM					
BATHROOM						UNIT 2F					
UNIT 1C						LIVING ROOM					
LIVING ROOM						KITCHEN					
KITCHEN						BEDROOM					
BEDROOM						BATHROOM					
BATHROOM											

DOOR SCHEDULE

DOORS & FRAMES										HARDWARE								
DOORS					FRAMES					FIRE RATING	BUTTS	LOCK TYPE	H.C. ACCESS	DOOR STOP	THRESH	WEATHER/ SWEEP	CLOSER	REMARKS
NO.	TYPE	MATERIAL	THICK.	HAND	TYPE	MATERIAL	WALL THICK.	JAMB DEPTH										
A01																		
A02																		
A03																		
A04																		
A05																		
A06																		
A07																		
B01																		
B02																		
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F05																		
F06																		

DOOR LEGEND

DOOR TYPES
 TYPE A:
 STANLEY ACCESS TECHNOLOGIES, DURA-GLIDE 2000SERIES SLIDING AUTOMATIC ENTRANCE
 TYPE B:
 KAWNEER, 260 INSULCLAD THERMAL ENTRANCE, 2 1/8" SIGHTLINE, FINISH TO MATCH STOREFRONT SYSTEM
 TYPE C:
 TRUDDOR, FLUSH HOLLOW METAL DOOR, 18 GA STEEL, PAINTED
 TYPE D:
 KAWNEER, 260 INSULCLAD THERMAL ENTRANCE, 2 1/8" SIGHTLINE w/ 18" SIDELIGHT, FINISH TO MATCH STOREFRONT SYSTEM
 TYPE E,F,G,H,I,J:
 TRUDDOR, PREFINISHED SOLID CORE, CLEAR ROTARY WHITE BIRCH
 TYPE K:
 TRUDDOR, PREFINISHED SOLID CORE, CLEAR ROTARY WHITE BIRCH, w/ FULL LIGHTS

HARDWARE LEGEND

DOOR BUTTS
 STANLEY, FBB SERIES HINGES
 H1 - EXTERIOR
 H2 - INTERIOR
 H3 - ELECTRONIC
 DOOR HARDWARE
 STANLEY, OCL100SERIES LEVERSETS
 DOOR LOCK TYPES
 PA - PASSAGE SET
 D - DUMMY TRIM w/ MAG CATCH
 C - CLASSROOM SET
 PROX - PROX READER
 P - PRIVACY SET
 ST - STOREROOM
 P/P - PUSH/PULL
 DOOR STOPS / HOLDS
 W - WALL MOUNTED
 F - FLOOR MOUNTED
 CLOSERS
 STANLEY, QDC2 11 F 689, HEAVY DUTY DOOR CLOSER
 WEATHER
 W-1 - WEATHER
 W-2 - SOUND
 SWEEP
 SW1 - NYLON BRUSH
 SW2 - RUBBER

WINDOW SCHEDULE

TYPE	UNIT DIMENSIONS	DESCRIPTION
A	4'-0" x 2'-11 1/8"	ANDERSEN, 400 SERIES, C23, INT. WHITE, EXT. WHITE.
B	4'-8 1/2" x 4'-4 3/8"	ANDERSEN, 400 SERIES, CW245, INT. WHITE, EXT. WHITE.
C	2'-0 1/2" x 2'-11 1/8"	ANDERSEN, 400 SERIES, C13, INT. WHITE, EXT. WHITE.
D	2'-0" x 4'-6"	RELOCATED EXISTING WINDOW

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DOOR AND FINISH SCHEDULE

BID DRAWINGS

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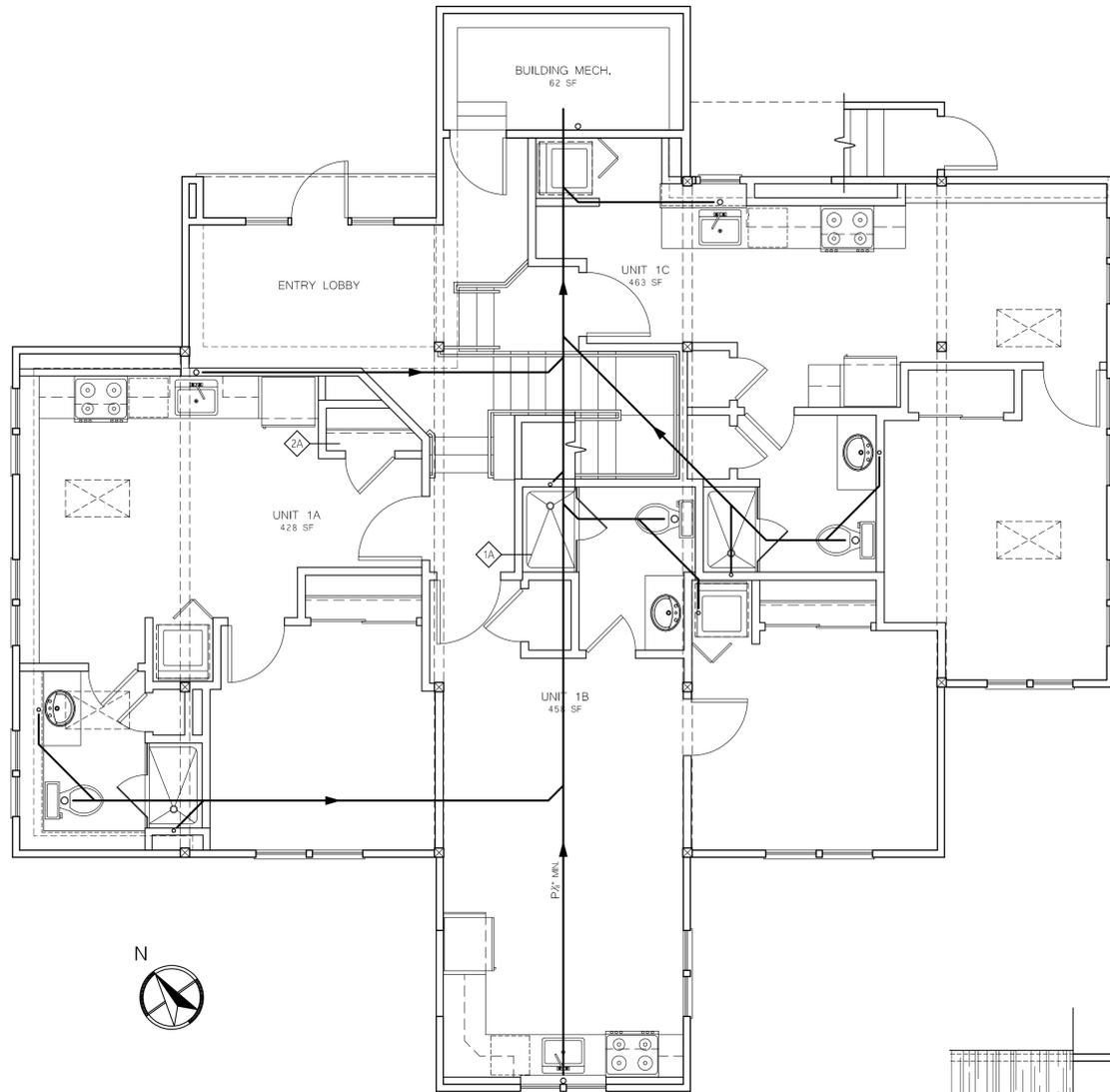
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ID	DATE	DESCRIPTION

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A-601

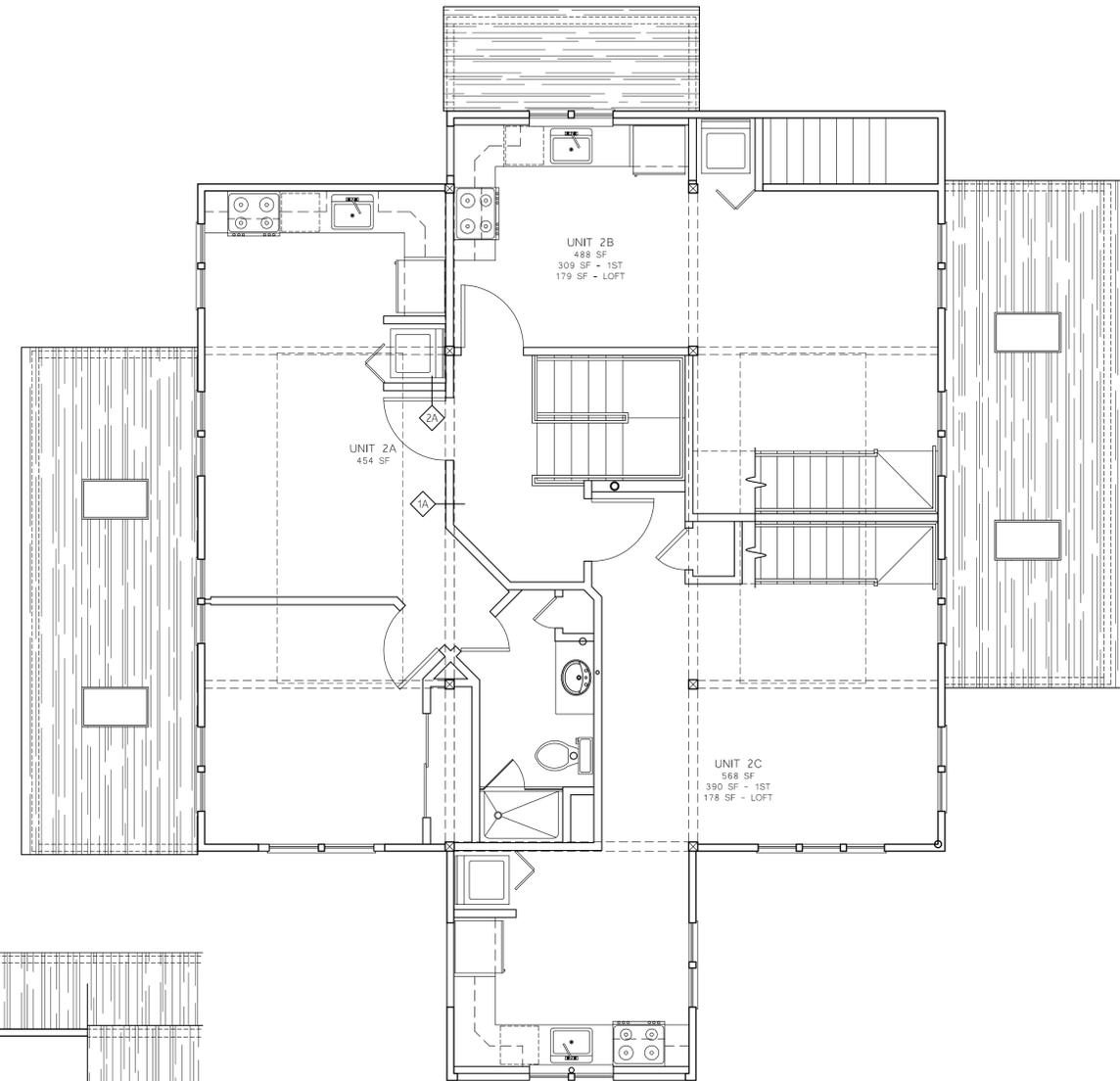
PROJECT NO. 2025
 DATE 09.14.20

ID	DATE	DESCRIPTION



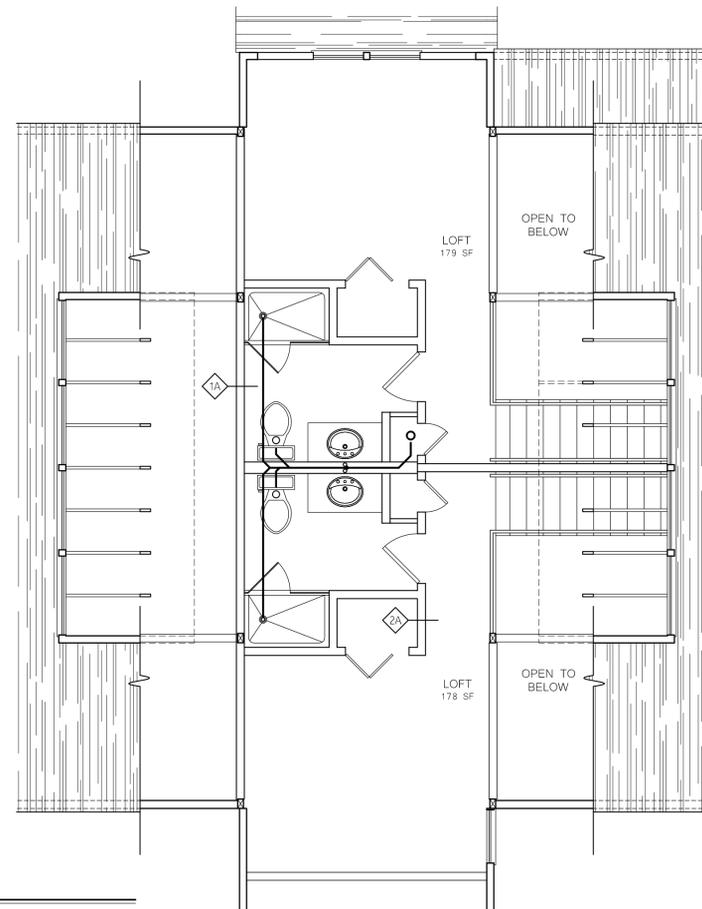
1 FIRST FLOOR PLAN

SCALE: 1/4"=1'-0"



2 SECOND FLOOR PLAN

SCALE: 1/4"=1'-0"



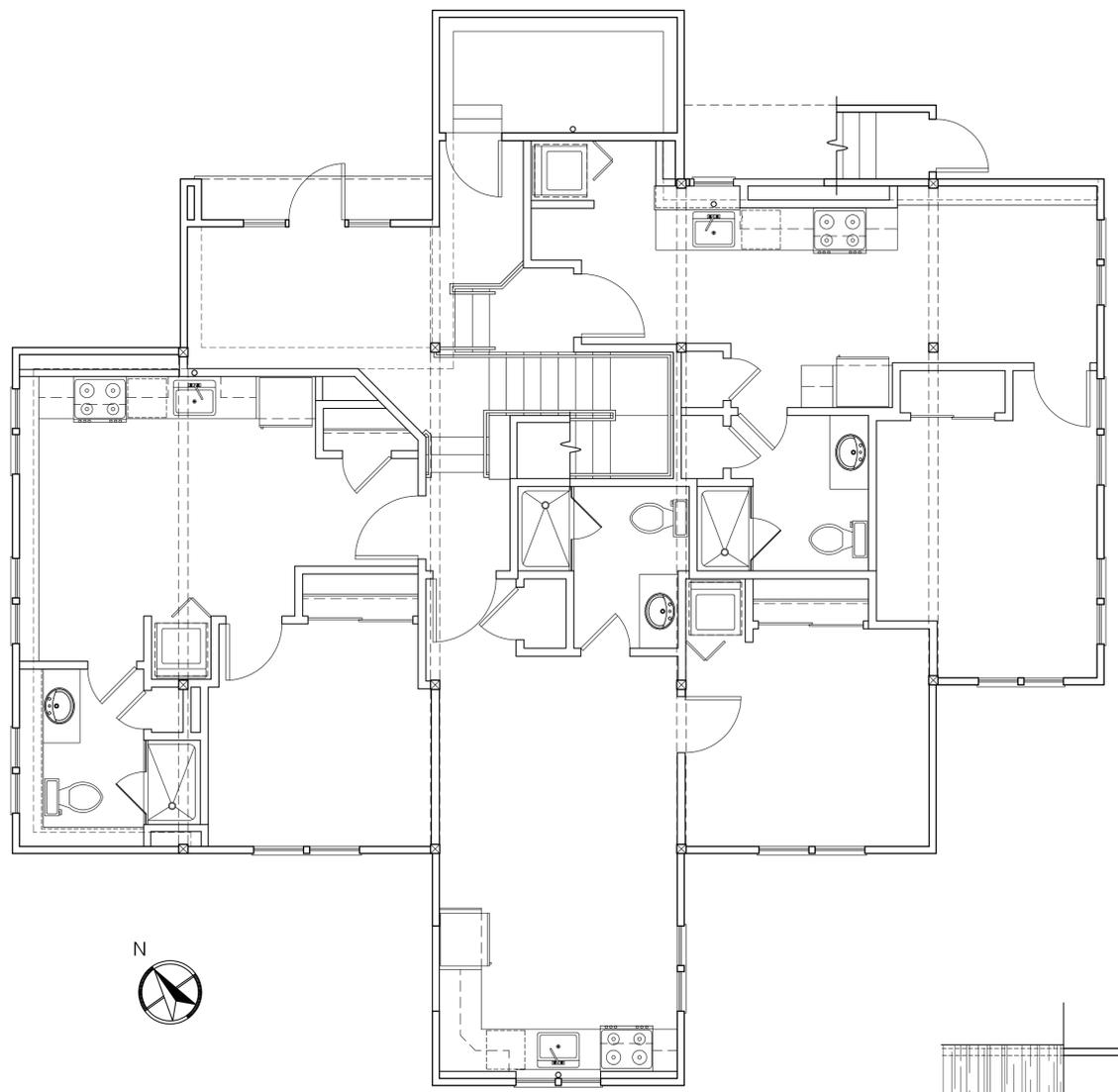
3 LOFT FLOOR PLAN

SCALE: 1/4"=1'-0"

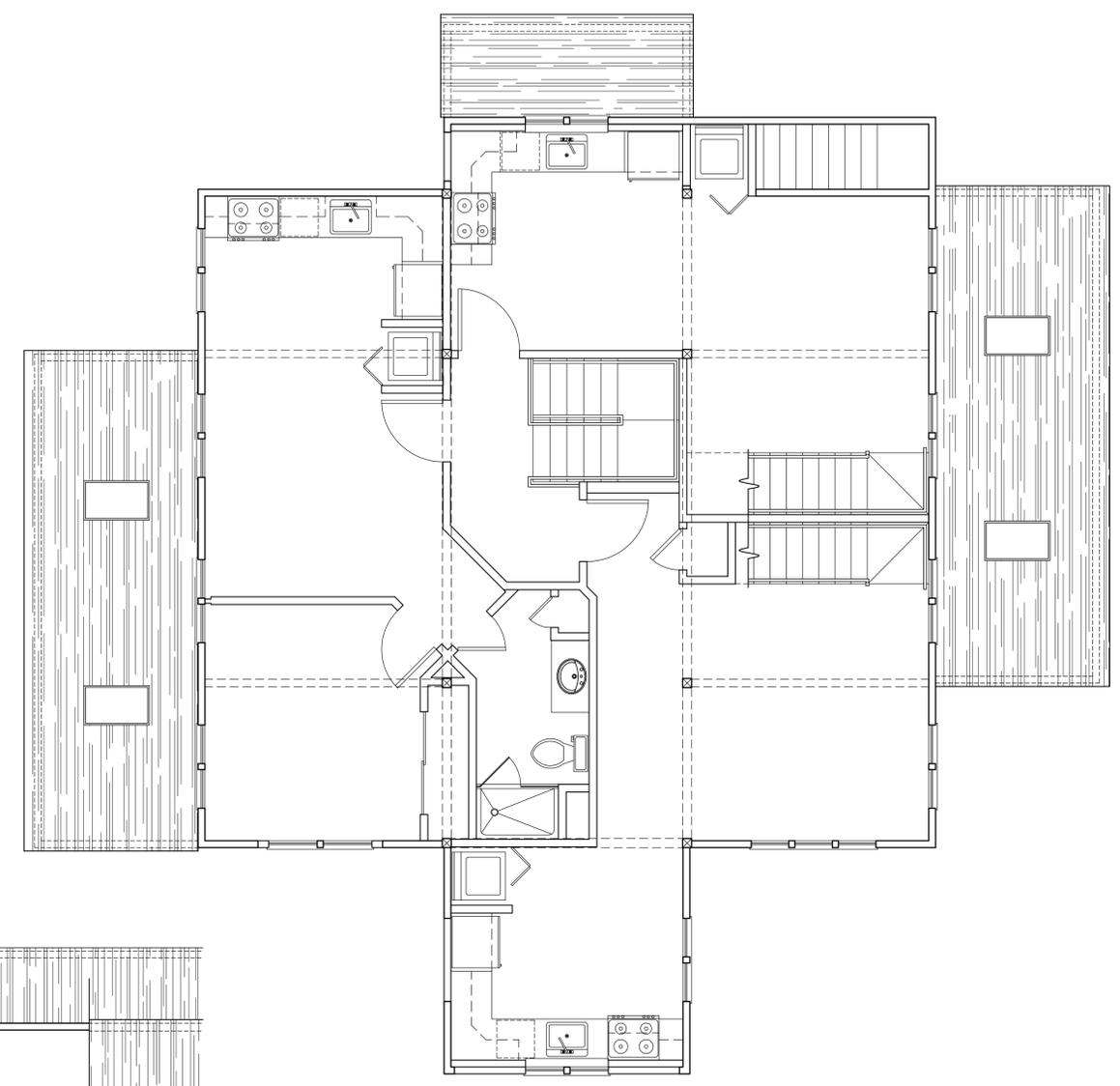
PLUMBING NOTES

Pipe size to each apartment 3/4" HW and CW.
 Supplies within apartments 1/2" to a single fixture,
 3/4" to multiple fixtures
 Sanitaries are 3" for W.C.s within apartments 4" for main to
 building system.
 Vents are 2" within apartments, 3" in corridors.
 Combine W.C., Shower and Lavatory vents and sanitaries where
 possible 2" wastes for showers, 1 1/2" wastes for sinks.
 Provide stops at all fixtures.
 Provide separate 1" hot and cold water lines to laundry.

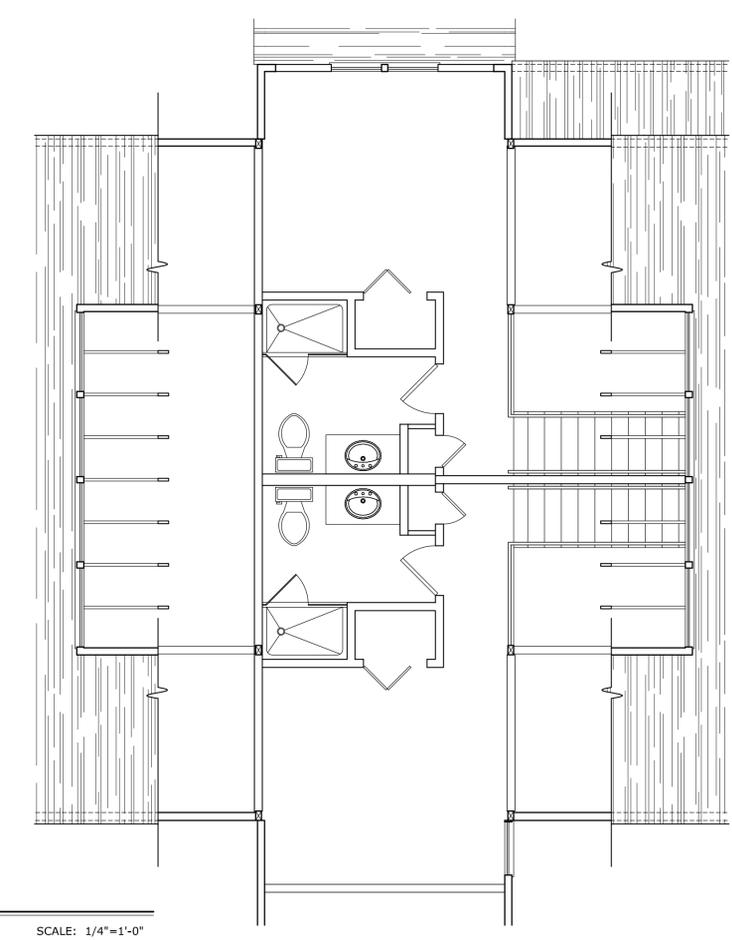
REVISIONS		
ID	DATE	DESCRIPTION



1 FIRST FLOOR PLAN
 SCALE: 1/4"=1'-0"



2 SECOND FLOOR PLAN
 SCALE: 1/4"=1'-0"



3 LOFT FLOOR PLAN
 SCALE: 1/4"=1'-0"

MECHANICAL NOTES

Provide condensation line for each unit.



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PROPOSED ELECTRICAL PLANS

BID DRAWINGS

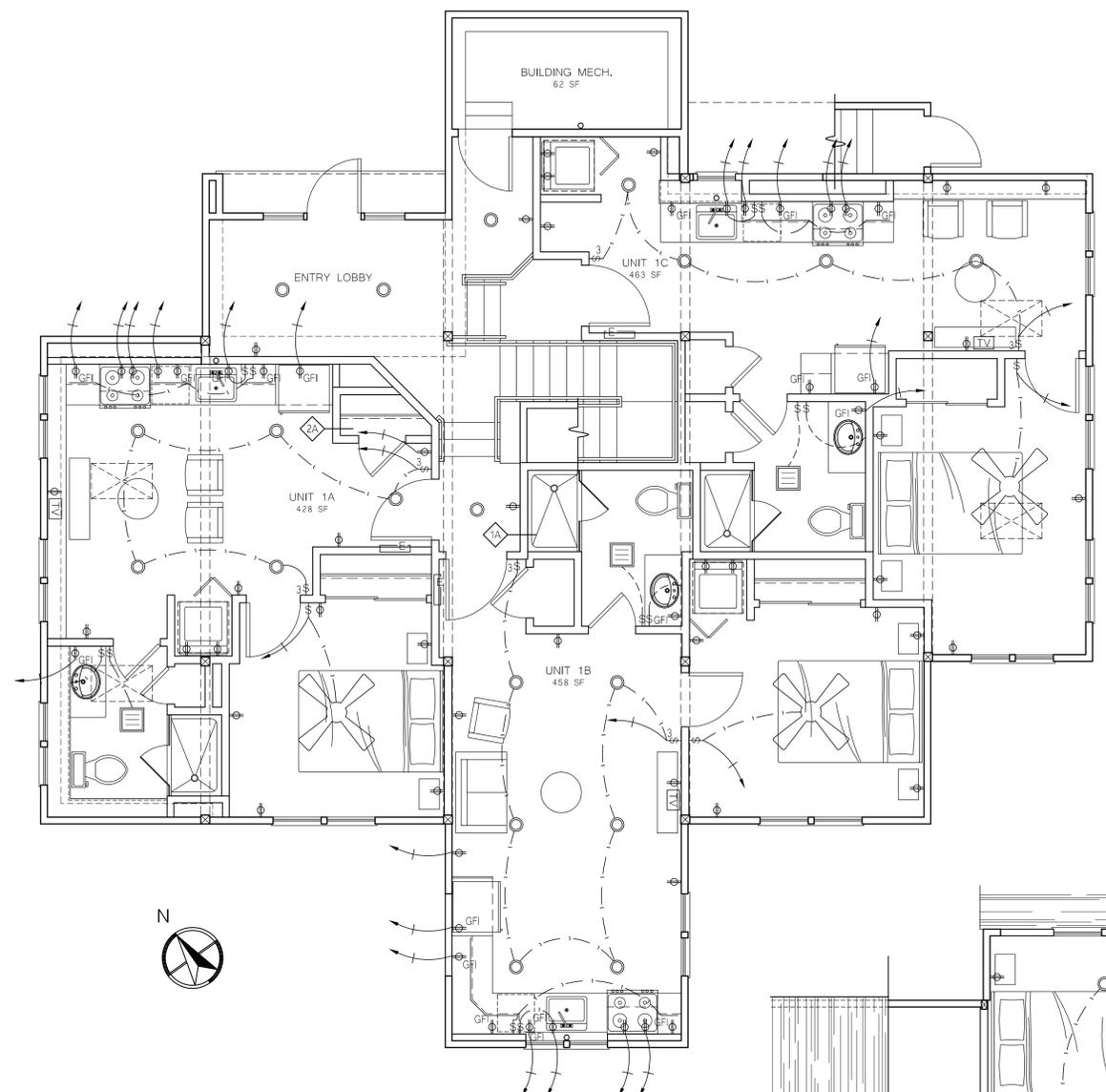
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REVISIONS		
ID	DATE	DESCRIPTION

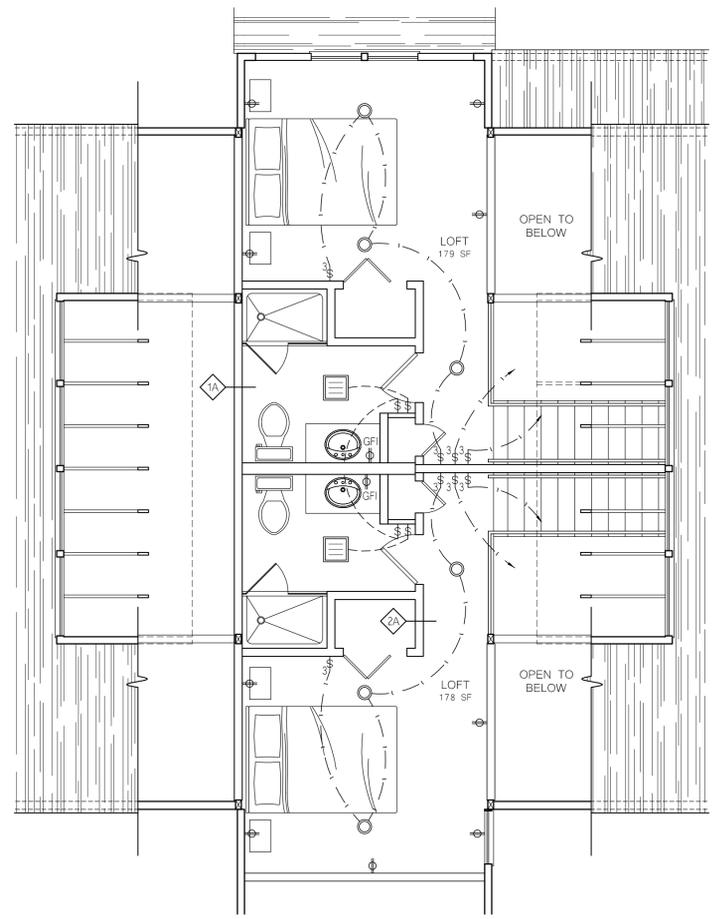
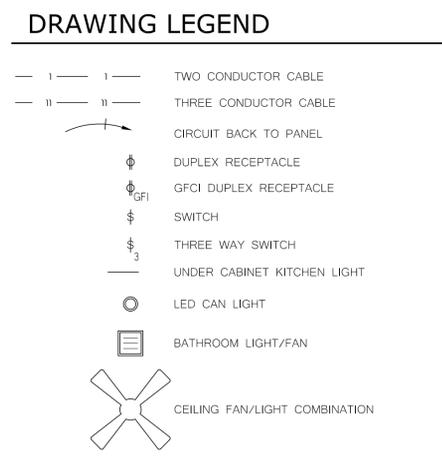
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E-101

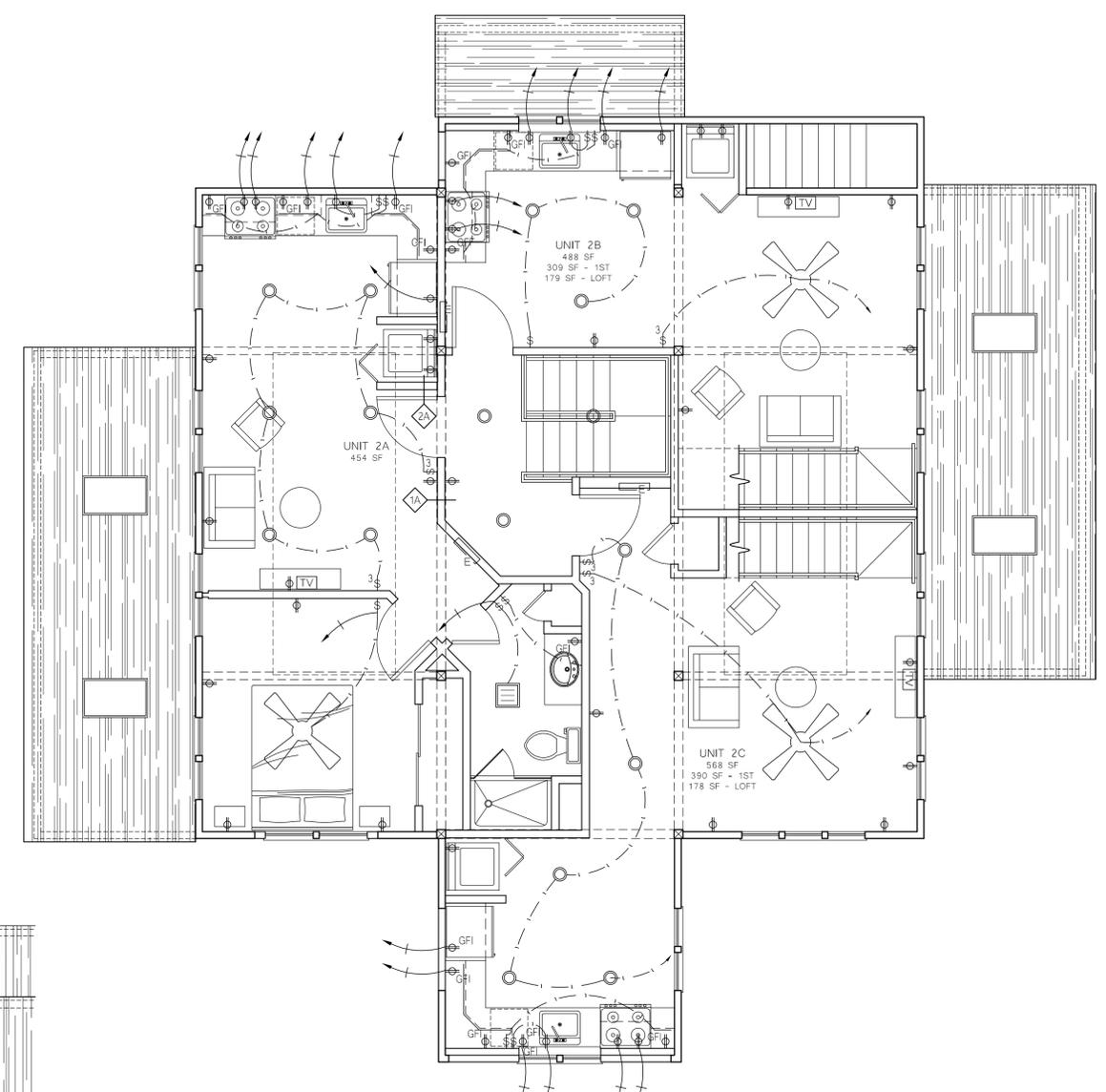
PROJECT NO. 2025
 DATE 09.14.20



1 FIRST FLOOR PLAN
 SCALE: 1/4"=1'-0"



3 LOFT FLOOR PLAN
 SCALE: 1/4"=1'-0"



2 SECOND FLOOR PLAN
 SCALE: 1/4"=1'-0"

ELECTRICAL NOTES

- Provide new main disconnect from new transformer, 1,000A 208V.
- Provide 7 new meters, 6 apartments/1 owners in existing meter room.
- Provide 150A 208/208 meters. # 1/0 Cu THWN conductors to each apartment.
- Provide 150A 208/208 panels for each apartment, locate behind unit entry doors.
- Supply battery backup ballasts for corridor lights for emergency use.
- Renew existing exit signs.
- Kitchen Electric**
- 50A 208V GFI'd Range circuit
- 20A 120V GFI'd Outlet behind refrigerator (dedicated)
- 20A 120V GFI'd Outlet under sink for disposal (dedicated)
- 20A 120V GFI'd Outlet under counter for dish washer (dedicated)
- 20A 120V GFI'd Circuits
- Bathroom Circuits**
- 20A 120V circuit with receptacles GFI protected
- Bedroom Circuits**
- Arc Fault protection on all receptacles
- HVAC**
- 30A 208V Heat pump supply / plus thermostat
- Washer/Dryer**
- 30A 208V Dryer service
- 20A 120V Washer service
- Hot Water Heater - 30g**
- 30A 208V Heater service

TYPICAL UNIT PANEL							
PROJECT NO:	2025	PANEL:	UNIT	FLUSH FEED:	DATE:	07.22.2020	
LOCATION:	UNIT	MOUNTING:	SOURCE:	METER:	BUS AMP:	TOP	
VOLTAGE:	120/208	COND:	2"	METER:	BRKR:	125	
WIRE:	3	WIRE:	# 1	GROUND:	# 6		
PHASE:	1						
CKT	LOAD DESCRIPTION	WATTS	CB AMP	CB AMP	WATTS	LOAD DESCRIPTION	CKT
1	RANGE	-	-	A	-	DRYER	2
3	-	-	-	B	-	-	4
5	MICRO./HOOD	-	-	A	-	KITCH. RECEP.	6
7	REFRIGERATOR	-	-	B	-	KITCH. LIGHTS	8
9	DISHWASHER	-	-	A	-	WASHER	10
11	DISPOSAL	-	-	B	-	LIVING RECEP.	12
13	BED. RECEP.	-	-	A	-	LIVING LIGHTS	14
15	BATH LIGHTS	-	-	B	-	BED. LIGHTS	16
17	BATH RECEP.	-	-	A	-	-	18
19	-	-	-	B	-	-	20
21	-	-	-	A	-	-	22
23	-	-	-	B	-	-	24
25	-	-	-	A	-	-	26
27	-	-	-	B	-	-	28
29	-	-	-	A	-	-	30
TOTAL WATTS/PH		A*	-	B*	-	TOTAL WATTS:	-
						TOTAL AMPS:	-
NOTES:							
1. VERIFY BRAKERS WITH NAMEPLATE RATINGS OF EQUIPMENT IN FIELD.							
2. PROVIDE SIX (6) 20A-1P SPARE BREAKERS.							
3. PROVIDE FULL COPPER BUSSING.							

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PROPOSED FLOOR PLANS

DESIGN
DRAWINGS

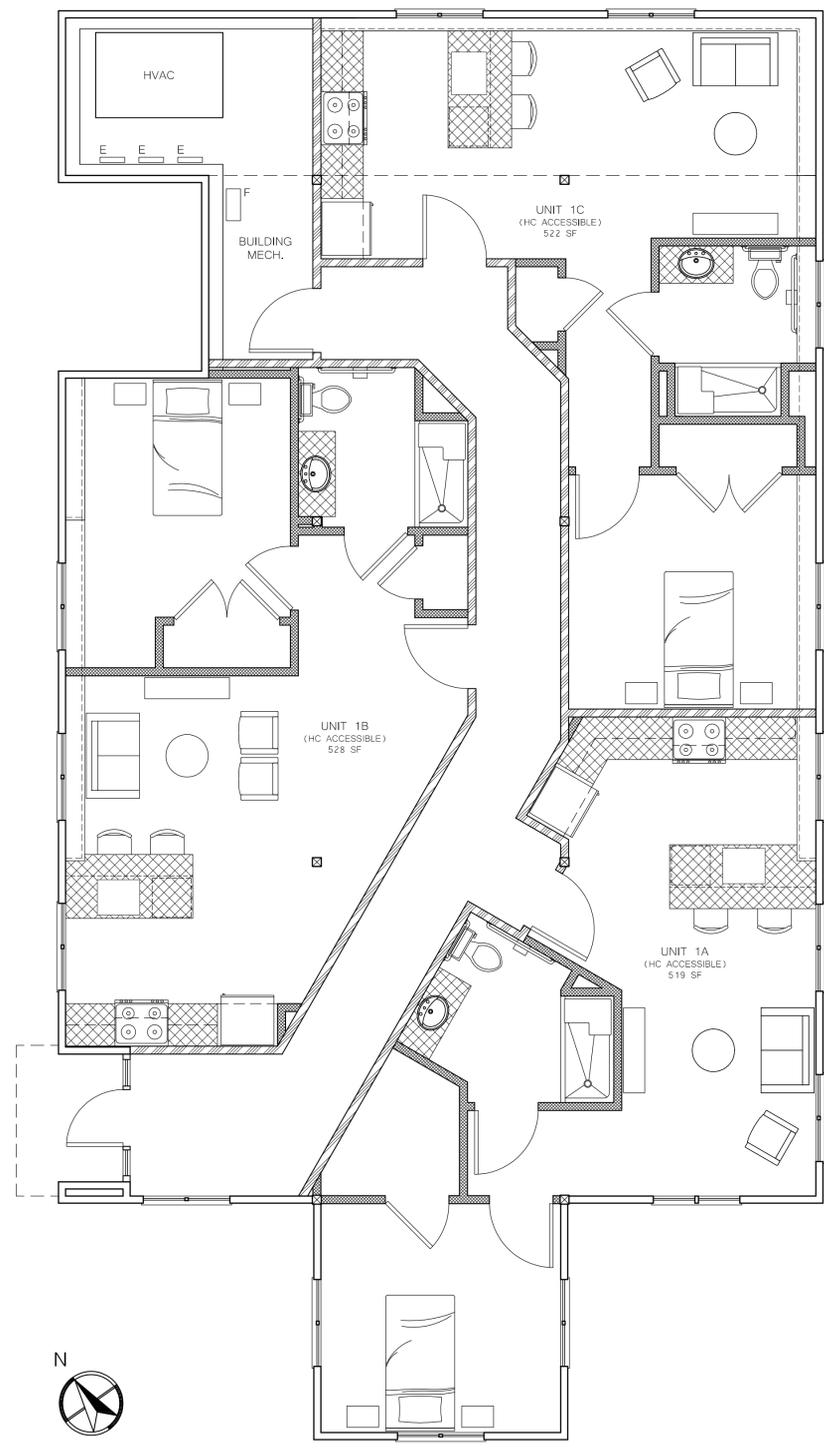
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MARK MARZI

REVISIONS		
ID	DATE	DESCRIPTION

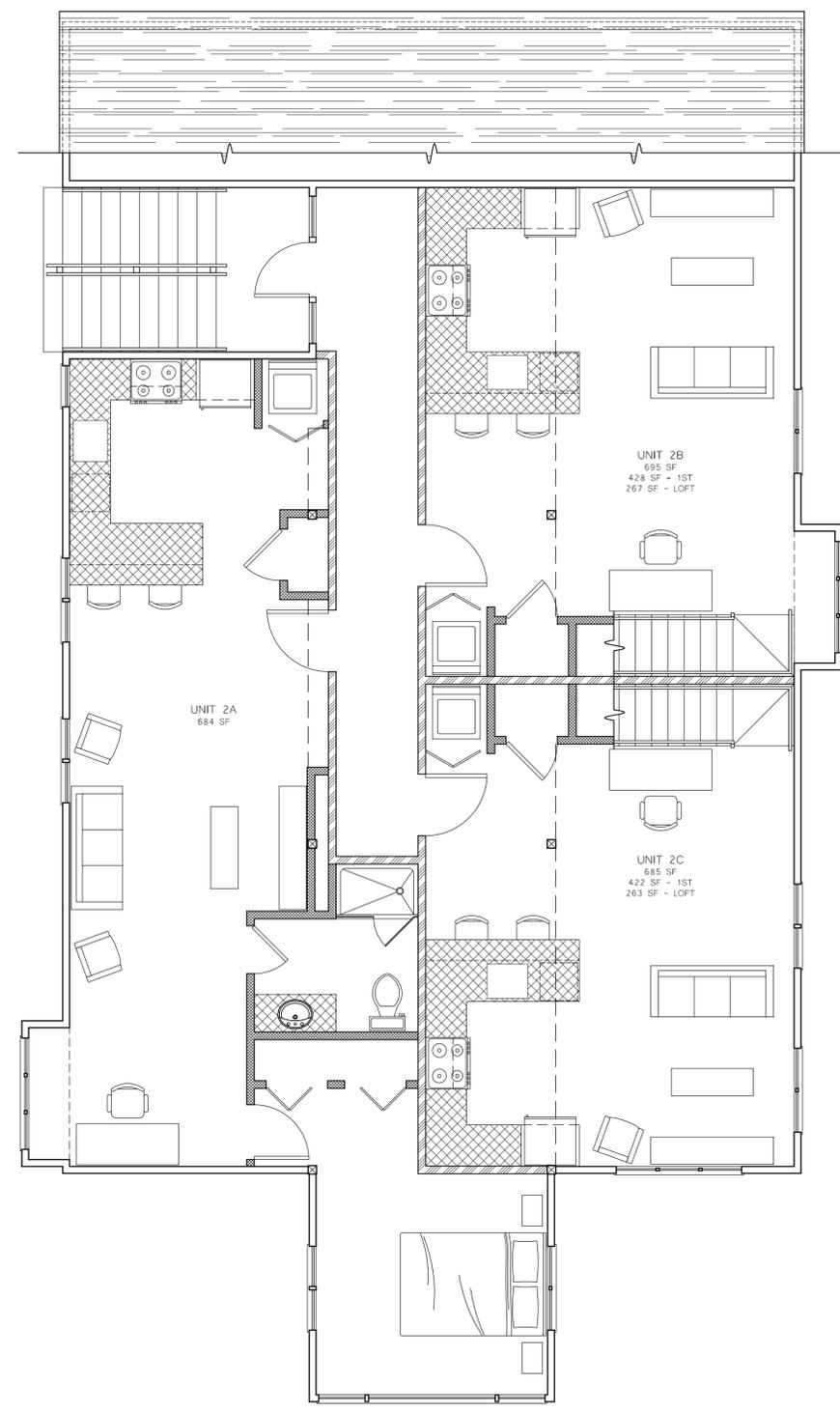
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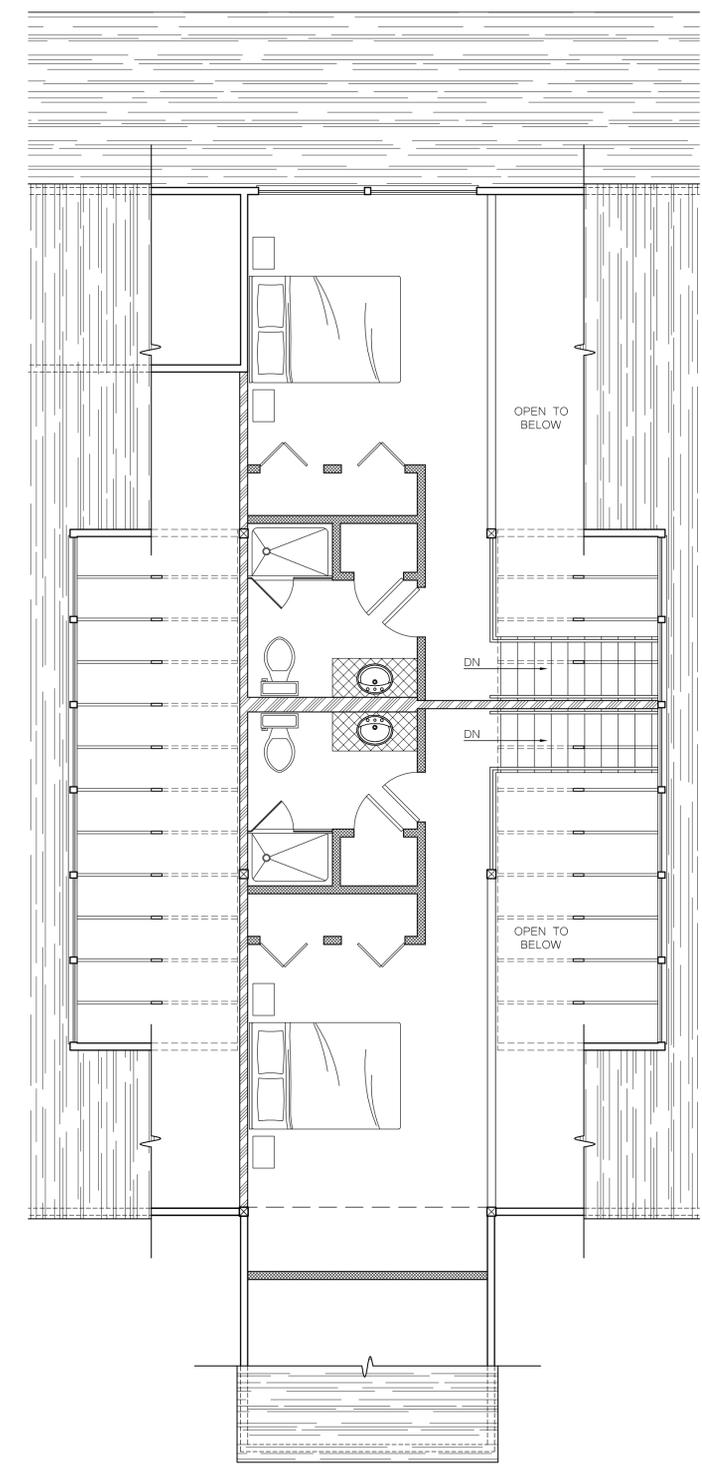
PROJECT NO. 2025
DATE 09.14.20



1 FIRST FLOOR PLAN
SCALE: 1/4"=1'-0"



2 SECOND FLOOR PLAN
SCALE: 1/4"=1'-0"



3 LOFT FLOOR PLAN
SCALE: 1/4"=1'-0"